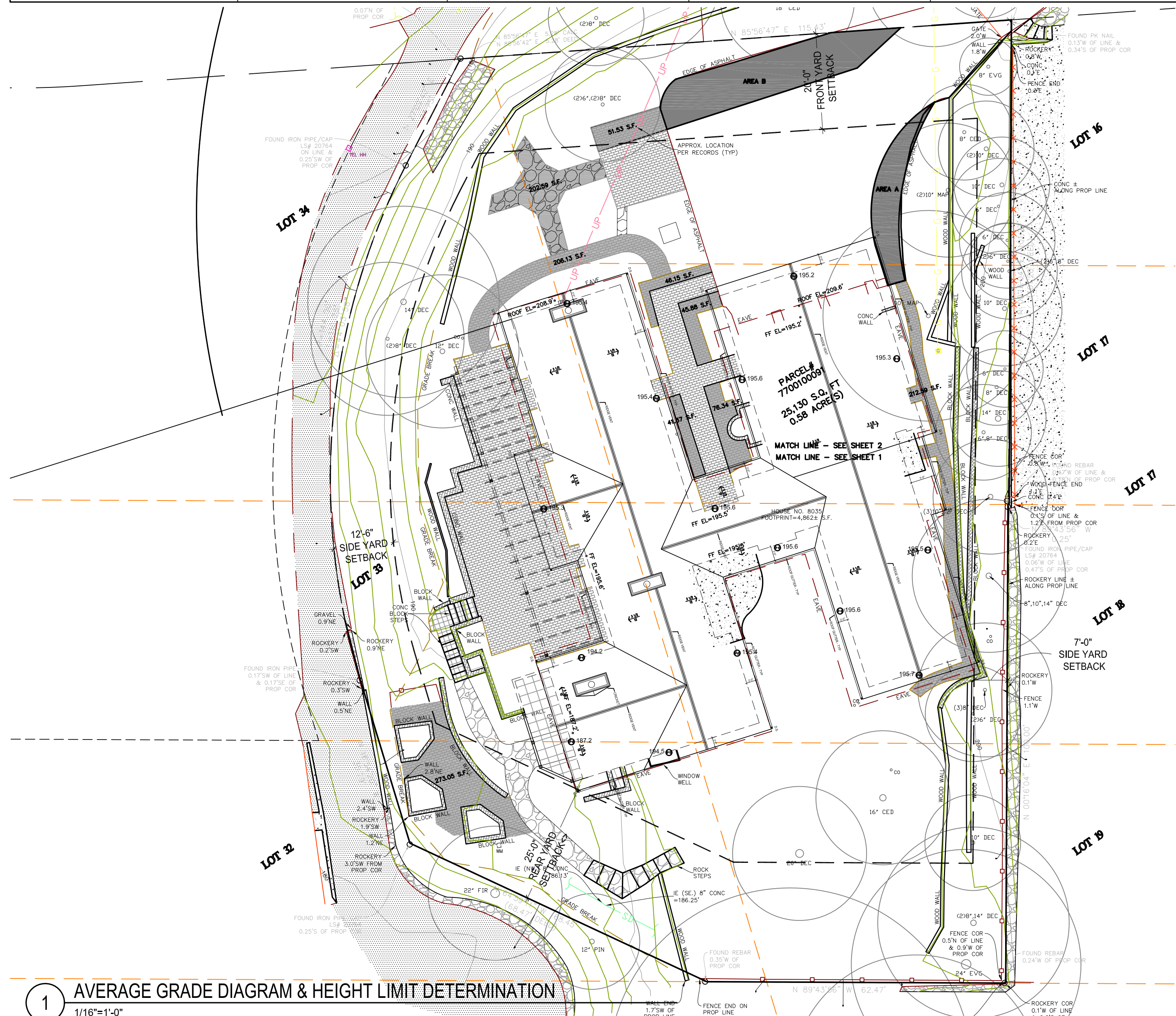


PROJECT DATA	PROJECT DATA	PROPERTY DATA	CONSTRUCTION DATA	ENERGY DATA	ENERGY DATA	VENTILATION DATA	TABLE OF CONTENTS
OWNER Steve & Joanne Adams 8035 SE 45TH ST MERCER ISLAND 98040 ARCHITECT PHONE: 206-355-9770 MCFADDEN DESIGN LLC 1914 5TH ST KIRKLAND, WA 98033 CONTACT: MICHAEL MCFADDEN MICHAEL@MCFADDENDSIGN.COM CONTRACTOR JOE MEYERS CONSTRUCTION INC. PHONE: 425-328-7849 CONTACT: JOE MEYERS LICENSE #: JOEMMYC951PP EIN/TAX ID: 81-0675182 STRUCTURAL ENGINEER QUANTUM CONSULTING ENGINEERS 1511 THIRD AVENUE, SUITE 323 SEATTLE, WA 98101 206-957-3900 PHONE 206-957-3901 FAX CONTACT: MAX SKOTHEIM MSKOTHEIM@QUANTUMCE.COM	SURVEYOR TERRANE 10801 MAIN STREET, SUITE 102 BELLEVUE, WA 98004 CONTACT: DANA HALL E: DANA@TERRANE.NET	PROJECT ADDRESS 8035 SE 45TH ST MERCER ISLAND 98040 LOT AREA 25,130 SF ASSESSOR'S TAX NUMBER 770010-0091 LEGAL DESCRIPTION SEWARD ADD POR OF 16 THRU 19 LY W OF LN RING N 00-16-04 E 100 FT FR FT ON S LN OF 19 49.95 FT E SW COR TH S 89-43-56 W ALG S LN OF 17 0.25 FT M/L TO PT 81.10 FT E OF SW COR OF 17 TH N 00-16-04 E 101.28 FT M/L TO N LN OF 16 & POR 32 THRU 34 LY E LN BEG ON NLY LN OF LOT 34 S 28 FT W OF NE COR THOF TH S 27-09-40 W 24.75 FT TH ON CURVE TO LEFT RAD 144 FT DIST 110.75 FT TH S 16-54-20 E 35.79 FT TH S 64-59-11 E 68.47 FT TO LN LOT 32	SCOPE OF WORK: WEST SIDE OF HOUSE WALLS REMOVED & REBUILT ON EXISTING FOUNDATION AND SLAB, WALLS TO REMAIN EAST OF ENTRY & NEW ROOF FOR HOUSE AND GARAGE. GROSS FLOOR AREA 10,000 S.F. OR 40% OF LOT AREA, WHICHEVER IS LESS NET LOT AREA = 25,130.0 S.F. X 40% ALLOWABLE GROSS FLOOR AREA = 10,052 S.F. GFA CALCULATION (MEASURED FROM EXTERIOR FACES OF BUILDING) LOWER FLOOR : 706 S.F. MAIN FLOOR : 3,981 S.F. GARAGE/SHOP : 1,283 S.F. TOTAL = 5,970 S.F. 5,970 S.F. < 10,052 S.F. (THEREFORE GFA IS OK)	PROVIDE INSULATION SPECIFIED PER R402.2 PROVIDE CONTINUOUS AIR BARRIER & THERMAL BARRIER PER TABLE R-402.4.1.1 THE BUILDING ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE PER R402.4 PROVIDE TESTING OF BUILDING ENVELOPE PER R402.4.1.2 FENESTRATION AIR LEAKAGE TESTING FOR WINDOWS, SKYLIGHTS, AND SLIDING GLASS DOORS TO COMPLY PER R402.4.3 RECESSED LIGHTING IN THE BUILDING THERMAL ENVELOPE TO COMPLY PER R402.4.4 FENESTRATION TRADE OFFS PER SECTION R4-2.1.4 OR R405 NOT APPLICABLE PROVIDE MANDATORY CONTROLS OF CONDITIONING SYSTEMS PER SECTION R403 BUILDING FRAMING CAVITIES PER R403.2.3 SHALL NOT BE USED AS DUCTS OR PLENUMS PROVIDE MECHANICAL PIPING INSULATION PER R403.3 MINIMUM R-6 MECHANICAL DUCTS OUTSIDE OF THE THERMAL ENVELOPE SHALL BE INSULATED A MINIMUM OF R-8 PER SECTION R403.2.1 MECHANICAL DUCTS, AIR HANDLERS, AND FILTER BOXES SHALL BE SEALED AND TESTED PER R403.2.2 JOINTS AND SEAMS TO COMPLY WITH ADOPTED IMC OR IRC CIRCULATING HOT WATER SYSTEMS SHALL BE PROVIDED WITH AN AUTOMATIC OR ACCESSIBLY MANUAL SHUT OFF SWITCH PER R403.4.1 PROVIDE MINIMUM R-4 HOT WATER PIPE INSULATION PER R403.4.2 INTERIOR VENTILATION PROVIDE INTERMITTENT WHOLE-HOUSE VENTILATION PER IRC M1507.3 AND 2012 WSEC SECTION R403.5 SYSTEM FAN EFFICACY PER TABLE R403.5.1 PROVIDE EQUIPMENT HEATING AND COOLING SIZING PER R403.6 ELECTRICAL POWER AND LIGHTING SYSTEMS TO COMPLY WITH SECTION R404 SIMULATED PERFORMANCE ALTERNATIVE PER SECTION R405 NOT APPLICABLE	2018 WSEC ENERGY CREDIT OPTIONS EACH DWELLING UNIT IN ONE AND TWO FAMILY DWELLINGS AND TOWNHOUSES, AS DEFINED IN SECTION 101.2 OF THE IRC SHALL COMPLY WITH SUFFICIENT OPTIONS FROM TABLE R406.2 SO AS TO ACHIEVE THE FOLLOWING MINIMUM # OF CREDITS. CATEGORY: MEDIUM DWELLING UNIT: 6 CREDITS. TABLE R406.2 ENERGY CREDITS SELECTED SYSTEM TYPE: 1 CREDITS: 0 COMBUSTION HEATING EQUIPMENT MEETING MINIMUM FEDERAL EFFICIENCY STANDARDS FOR THE EQUIPMENT LISTED IN TABLE C403.3.2(4) OR C403.3.2(5) OPTION 1.1 CREDITS: 0.5 PRESCRIPTIVE COMPLIANCE IS BASED ON TABLE R402.1.1 WITH THE FOLLOWING MODIFICATIONS: VERTICAL FENESTRATION U = 0.24 OPTION 2.1 CREDITS: 0.5 COMPLIANCE BASED ON R402.4.1.2: REDUCE THE TESTED AIR LEAKAGE TO 3.0 AIR CHANGES PER HOUR MAXIMUM AT 50 PASCALS OR FOR R-2 OCCUPANCIES, OPTIONAL COMPLIANCE BASED ON SECTION R402.4.1.2: REDUCE THE TESTED AIR LEAKAGE TO 0.3 CFM/FT² MAXIMUM AT 50 PASCALS AND ALL WHOLE HOUSE VENTILATION REQUIREMENTS AS DETERMINED BY SECTION M1507.3 OF THE INTERNATIONAL RESIDENTIAL CODE OR SECTION 403.8 OF THE INTERNATIONAL MECHANICAL CODE SHALL BE MET WITH A HIGH EFFICIENCY FAN(S) (MAXIMUM 0.35 WATTS/CFM), NOT INTERLOCKED WITH THE FURNACE FAN (IF PRESENT). VENTILATION SYSTEMS USING A FURNACE INCLUDING AN ECM MOTOR ARE ALLOWED, PROVIDED THAT THEY ARE CONTROLLED TO OPERATE AT LOW SPEED IN VENTILATION ONLY MODE. OPTION 3.5 CREDITS: 1.5 AIR-SOURCE, CENTRALLY DUCTED HEAT PUMP WITH MINIMUM HSPF OF 11.0. OPTION 4.2 CREDITS: 1.0 HVAC EQUIPMENT AND ASSOCIATED DUCT SYSTEM(S) INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS OF SECTION R403.3.7. LOCATING SYSTEM COMPONENTS IN CONDITIONED CRAWL SPACES IS NOT PERMITTED UNDER THIS OPTION. ELECTRIC RESISTANCE HEAT AND DUCTLESS HEAT PUMPS ARE NOT PERMITTED UNDER THIS OPTION. DIRECT COMBUSTION HEATING EQUIPMENT WITH AFUE LESS THAN 80% IS NOT PERMITTED UNDER THIS OPTION. OPTION 5.5 CREDITS: 2.0 WATER HEATING SYSTEM SHALL INCLUDE ONE OF THE FOLLOWING: ELECTRIC HEAT PUMP WATER HEATER MEETING THE STANDARDS FOR TIER III OF NEEA'S ADVANCED WATER HEATING SPECIFICATION OPTION 7.1 CREDITS: 0.5 ALL OF THE FOLLOWING APPLIANCES SHALL BE NEW AND INSTALLED IN THE DWELLING UNIT AND SHALL MEET THE FOLLOWING STANDARDS: DISHWASHER - ENERGY STAR RATED REFRIGERATOR (IF PROVIDED) - ENERGY STAR RATED WASH TOTAL CREDITS: 6.0	SYSTEM DESIGN THIS SYSTEM IS DESIGN/BUILD SYSTEM CRITERIA PER 2018 IRC TABLE M1507.3.3(1) CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS: PROVIDE 135 CFM AIRFLOW. PER 2018 IRC TABLE M1507.3.3 (2) INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS, RUN TIME % IN EACH 4-HOUR SEGMENT TO BE 75% WITH A FACTOR OF 1.3: 135 CFM X 1.3 = 175.5 CFM PER 2018 IRC M1507.3.6.1 ALL HABITABLE SPACES SHALL RECEIVE FILTERED VENTILATION AIR. MINIMUM OF .35 AIR EXCHANGES PER HOUR FOR ALL HABITABLE ROOMS. MAXIMUM OF .50 AIR EXCHANGES PER HOUR FOR ALL HABITABLE ROOMS. SYSTEM COMPONENTS TIMER INTAKE GRILL & DUCTING (FROM EXTERIOR) MOTORIZED DAMPER ELECTRIC AIR TEMPERING UNIT INTAKE BLOWER DISTRIBUTION DUCTING (HABITABLE ROOMS) DISTRIBUTION GRILLS (HABITABLE ROOMS) ELECTRIC EXHAUST FAN EXHAUST DUCTING EXHAUST PORT WITH BACK DRAFT DAMPER SYSTEM FUNCTION INTAKE BLOWER, AIR TEMPERING UNIT, AND EXHAUST FAN TO BE CONNECTED TO TIMER FOR SYNCHRONIZED, INTERMITTENT USE THROUGHOUT EACH DAY. FRESH AIR FROM THE EXTERIOR IS PULLED THROUGH AIR TEMPERING UNIT, THEN DISTRIBUTED THROUGH DUCTING TO ALL HABITABLE ROOMS. A BALANCED QUANTITY OF AIR IS SIMULTANEOUSLY EVACUATED FROM THE INTERIOR VIA THE EXHAUST FAN DUCTED TO THE EXTERIOR.	SHT DESCRIPTION SURVEY ALTA/ACSM LAND TITLE SURVEY N/A ARCHITECTURAL A-1.0 PROJECT DATA COVERSHEET A-1.1 GENERAL NOTES A-1.2 SITE PLAN A-2.0 MAIN FLOOR & LOWER FLOOR DEMO PLAN A-2.1 MAIN FLOOR PLAN & LOWER FLOOR PLAN A-2.2 ROOF PLAN & DETAILS A-3.0 EXTERIOR ELEVATIONS A-3.1 EXTERIOR ELEVATIONS A-3.2 EXTERIOR ELEVATIONS A-4.0 BUILDING SECTION A-4.1 BUILDING SECTION A-4.2 DOOR DIAGRAMS A-4.3 WINDOW DIAGRAMS A-4.4 WINDOW DIAGRAMS A-6.3 DOOR & WINDOW SCHEDULES STRUCTURAL S1.0 GENERAL STRUCTURAL NOTES S1.1 GENERAL STRUCTURAL NOTES S2.0 LOWER FLOOR FRAMING PLAN S2.1 MAIN FLOOR FRAMING PLAN S2.2 ROOF FRAMING PLAN S3.0 TYPICAL FOUNDATION/SLAB DETAILS S3.1 TYPICAL BASEMENT DETAILS S4.0 TYPICAL WOOD DETAILS S4.1 TYPICAL WOOD DETAILS S4.2 TYPICAL FLOOR DETAILS S4.3 TYPICAL TRUSS DETAILS S4.4 TYPICAL ROOF DETAILS S5.0 TYPICAL WOOD AND STEEL DETAILS

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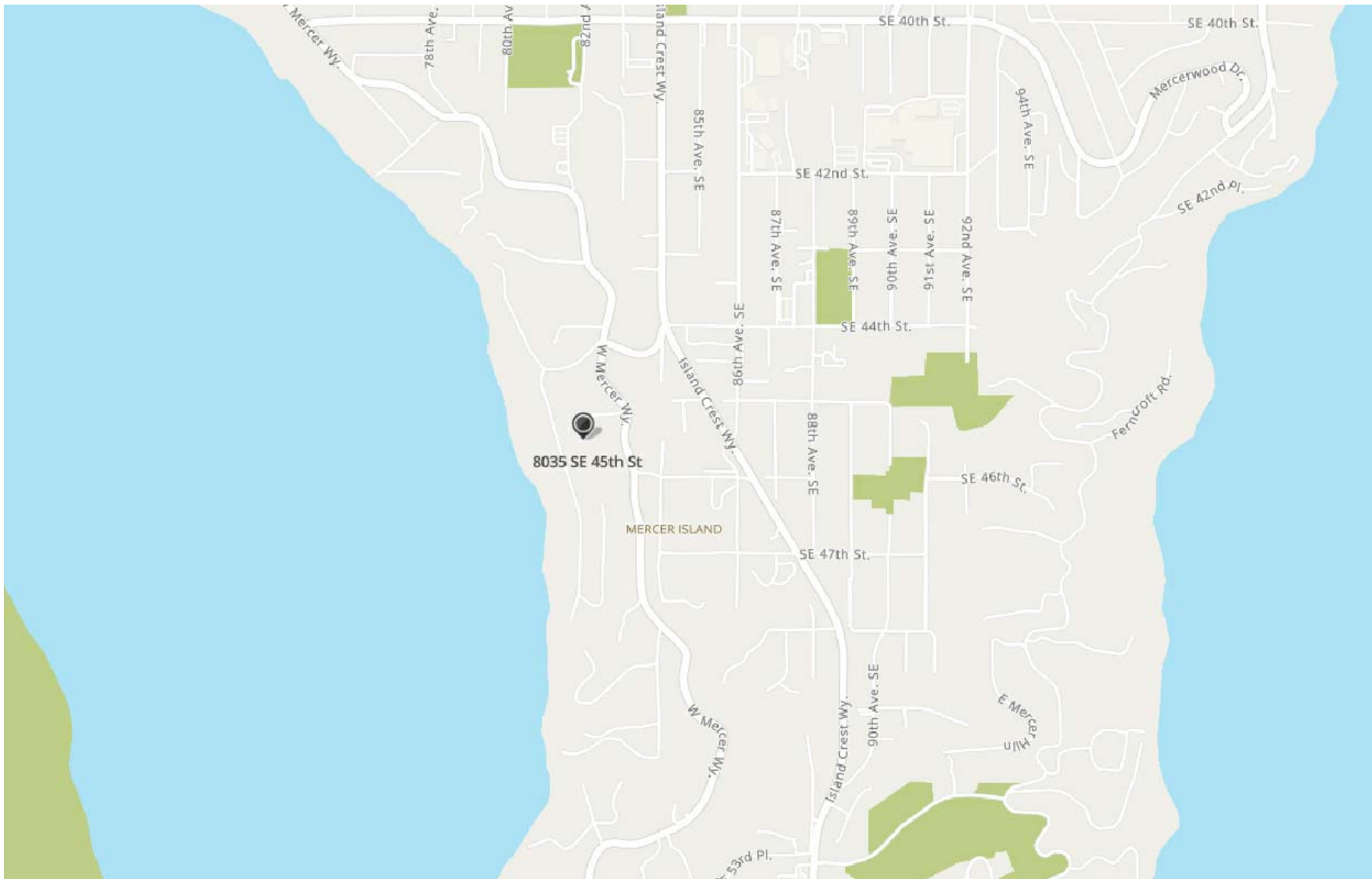
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RELATED BUILDING CODES
2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
2018 INTERNATIONAL MECHANICAL CODE (IMC)
2018 INTERNATIONAL FUEL GAS CODE (IFGC)
2018 UNIFORM PLUMBING CODE (UPC)
2018 INTERNATIONAL SWIMMING POOL & SPA CODE
2018 WASHINGTON STATE ENERGY CODE (WSEC)
2018 ICC/ANSI A117-1.08 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, WITH STATEWIDE AND LOCAL AMENDMENTS
2018 (IFC) INTERNATIONAL FIRE CODE



3 PATIO VIEW
NOT TO SCALE



2 VICINITY MAP
NOT TO SCALE

DESIGN	MM
DRAWN	JOB, TES
CHECKED	JB
SHEET ISSUE DATE	07.19.2022
DRAWING SETS	
DATE	DESCRIPTION
2023-07-12	PERMIT SET
2024-05-01	REVISED PERMIT SET
REVISIONS	
REVISION 1	



1914 5th St.
Kirkland, WA 98003

WWW.MCFADDENDSIGN.COM

ADAMS RESIDENCE

8035 SE 45TH ST
MERCER ISLAND 98040

PROJECT INFO & ZONING DIAGRAMS

LEGAL DESCRIPTION

(PER STATUTORY WARRANTY DEED RECORDING #20210222003556)
 THAT PORTION OF LOTS 16 THROUGH 19 AND LOTS 32 THROUGH 34, SEWARD ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 24 OF PLATS, PAGE 26, IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT ON THE NORTHERLY LINE OF SAID LOT 34 WHICH BEARS SOUTH 85°56'42" WEST 5.28 FEET FROM THE NORTHEAST CORNER THEREOF;
 THENCE SOUTH 27°09'40" WEST 24.75 FEET;
 THENCE ON A CURVE TO THE LEFT HAVING A RADIUS OF 144 FEET A DISTANCE OF 110.75 FEET;
 THENCE SOUTH 16°54'20" EAST 35.79 FEET;
 THENCE SOUTH 64°59'11" EAST 68.47 FEET TO THE SOUTH LINE OF SAID LOT 32;
 THENCE SOUTH 89°43'57" EAST, ALONG THE SOUTH LINE, 12.50 FEET TO THE SOUTHEAST CORNER OF SAID LOT 32;
 THENCE CONTINUING ON THE SOUTH LINE OF LOT 19, SOUTH 89°43'56" EAST 49.95 FEET;
 THENCE NORTH 00°16'04" EAST 100 FEET TO THE SOUTH LINE OF LOT 17;
 THENCE SOUTH 89°43'56" EAST, ALONG THE SOUTH LINE OF LOT 17, 0.25 FEET, MORE OR LESS, TO A POINT WHICH IS SOUTH 89°43'56" EAST 81.10 FEET FROM THE SOUTHWEST CORNER OF SAID LOT 17;
 THENCE NORTH 00°16'04" EAST 101.28 FEET TO THE NORTH LINE OF SAID LOT 16;
 THENCE WESTERLY, ALONG THE NORTH LINE OF SAID LOTS 16 AND 34, SOUTH 85°56'42" WEST 115.43 FEET TO THE POINT OF BEGINNING.
 SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

N 16°54'20" W BETWEEN FOUND CENTERLINE MONUMENTATION ALONG FOREST AVE SE PER R1

REFERENCES

- R1. SEWARD ADDITION PLAT, VOL. 24, PG. 26, RECORDS OF KING COUNTY, WASHINGTON.
- R2. RECORD OF SURVEY, VOL. 52, PG. 180, RECORDS OF KING COUNTY, WASHINGTON.
- R3. RECORD OF SURVEY, VOL. 114, PG. 62, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

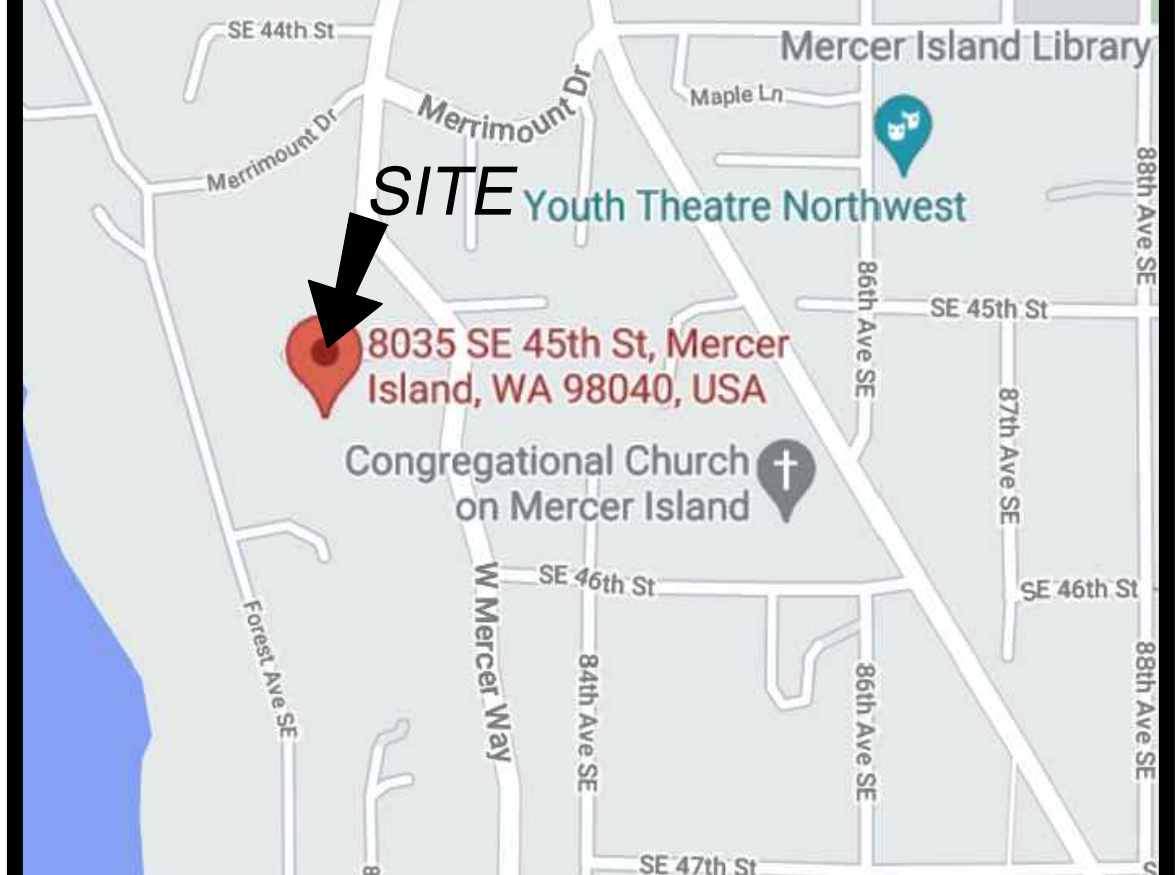
NAVD88 PER GPS OBSERVATIONS

SURVEYOR'S NOTES

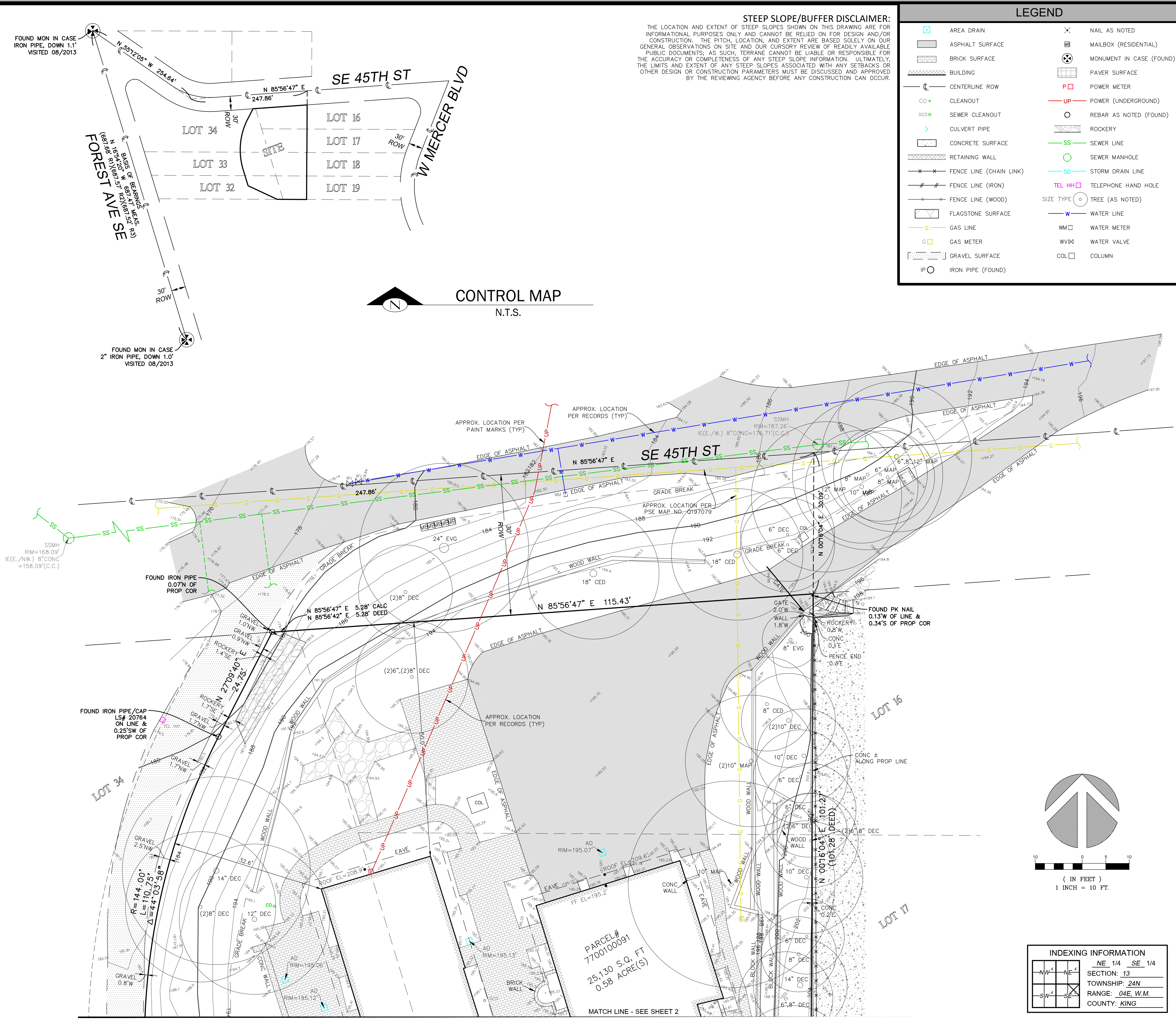
1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN JULY OF 2022. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 7700100091.
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 25,130± S.F. (0.58 ACRES)
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
7. EXISTING STRUCTURE(S) LOCATION AND DIMENSIONS ARE MEASURED FROM THE FACE OF THE SIDING UNLESS OTHERWISE NOTED.
8. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

VICINITY MAP

N.T.S.



TOPOGRAPHIC & BOUNDARY SURVEY



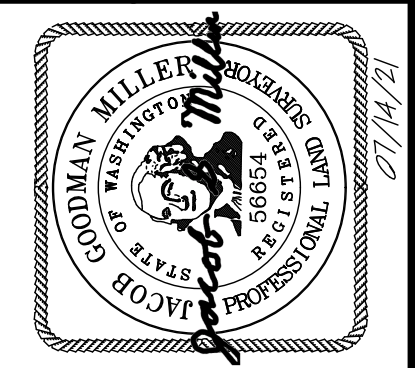
STEEP SLOPE/BUFFER DISCLAIMER:
 THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.

LEGEND

AREA DRAIN	NAIL AS NOTED
ASPHALT SURFACE	MAILBOX (RESIDENTIAL)
BRICK SURFACE	MONUMENT IN CASE (FOUND)
BUILDING	PAVER SURFACE
CENTERLINE ROW	POWER METER
CLEANOUT	POWER (UNDERGROUND)
SEWER CLEANOUT	REBAR AS NOTED (FOUND)
CULVERT PIPE	ROCKERY
CONCRETE SURFACE	SEWER LINE
RETAINING WALL	SEWER MANHOLE
FENCE LINE (CHAIN LINK)	STORM DRAIN LINE
FENCE LINE (IRON)	TELEPHONE HAND HOLE
FENCE LINE (WOOD)	TREE (AS NOTED)
FLAGSTONE SURFACE	WATER LINE
GAS LINE	WATER METER
GAS METER	WATER VALVE
GRAVEL SURFACE	COLUMN
IRON PIPE (FOUND)	

measure success

TOPOGRAPHIC & BOUNDARY SURVEY
 PARCEL NO. 7700100091
ADAM RESIDENCE
 8035 SE 45TH ST
 MERCER ISLAND, WA 98040



Terrane
 10801 Main Street, Suite 102, Bellevue, WA 98004
 phone 425.458.4488 support@terrane.net
 www.terrane.net

JOB NUMBER:	211187
DATE:	07/14/21
DRAFTED BY:	RSN
CHECKED BY:	JGM/CSP
SCALE:	1" = 10'
REVISION HISTORY	
INDEXING INFORMATION	
	NE 1/4 SE 1/4
	SECTION: 13
	TOWNSHIP: 24N
	RANGE: 04E, W.M.
	COUNTY: KING
SHEET NUMBER	
1 OF 2	

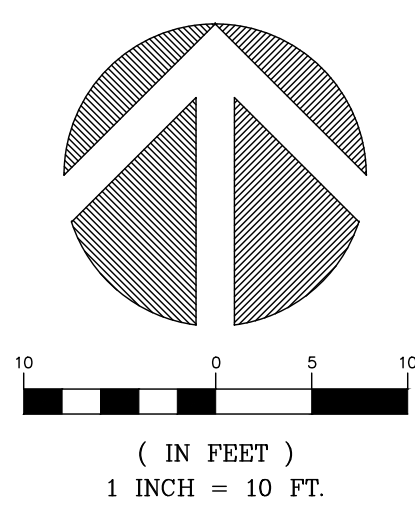
TOPOGRAPHIC & BOUNDARY SURVEY

LEGEND

	AREA DRAIN		NAIL AS NOTED
	ASPHALT SURFACE		MAILBOX (RESIDENTIAL)
	BRICK SURFACE		MONUMENT IN CASE (FOUND)
	BUILDING		PAVER SURFACE
	CENTERLINE ROW		POWER METER
	CLEANOUT		POWER (UNDERGROUND)
	SEWER CLEANOUT		REBAR AS NOTED (FOUND)
	CULVERT PIPE		ROCKERY
	CONCRETE SURFACE		SEWER LINE
	RETAINING WALL		SEWER MANHOLE
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	GAS LINE		WATER METER
	GAS METER		WATER VALVE
	GRAVEL SURFACE		COLUMN
	IRON PIPE (FOUND)		

STEEP SLOPE/BUFFER DISCLAIMER:

THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.

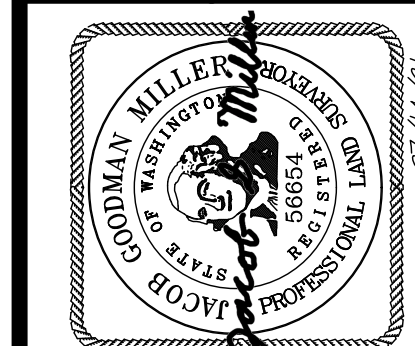


INDEXING INFORMATION			
NE	1/4	SE	1/4
NW	1/4	SE	1/4
SECTION: 13			
TOWNSHIP: 24N			
RANGE: 04E, W.M.			
COUNTY: KING			

TOPOGRAPHIC & BOUNDARY SURVEY

PARCEL NO. 7700100091

ADAM RESIDENCE
8035 SE 45TH ST
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REVISION HISTORY	

SHEET NUMBER
2 OF 2

measure success



AVERAGE BUILDING ELEVATION CALCULATION

$$ABE = \frac{(24.2 \times 195.4) + (76.3 \times 195.3) + (13.6 \times 194.2) + (19.7 \times 187.2) + (37.6 \times 194.5) + (35.4 \times 195.4) + (23.2 \times 195.6) + (35.3 \times 195.6) + (21.3 \times 195.7) + (49 \times 195.5) + (30.7 \times 195.3) + (32 \times 195.2) + (29.5 \times 195.6) + (18.5 \times 195.6) + (50 \times 195.4)}{24.2 + 76.3 + 13.6 + 19.7 + 37.6 + 35.4 + 23.2 + 35.3 + 21.3 + 49 + 30.7 + 32 + 29.5 + 18.5 + 50} = 195.0'$$

MAXIMUM BUILDING HEIGHT = 30' ABOVE A.B.E.
 MAXIMUM BUILDING ELEVATION = 195.0' + 30' = 225'

NOTE:
 CONTRACTOR TO VERIFY
 OVERHANGS AND SETBACKS.

LOT COVERAGE CALCULATION:
 LOT AREA = 25,130 SF
 ALLOWABLE LOT COVERAGE = 35%
 ALLOWABLE LOT COVERAGE AREA = 8,796 SF
 EXISTING LOT COVERAGE
 6,303 SF (MAIN STRUCTURE) + 2,690 SF (DRIVEWAY) = 8,993 SF
 TOTAL LOT COVERAGE TO BE REMOVED = 4,153 SF
 NEW LOT COVERAGE
 3,770 SF (MAIN STRUCTURE) = 3,770 SF
 TOTAL PROJECT LOT COVERAGE AREA = (8,993 SF - 4,153 SF) + 3,770 SF = 8,610 SF
 TOTAL LOT COVERAGE AREA = 8,610 SF / 25,130 SF = 34.3%
 EXCESS LOT COVERAGE = 186 SF

LOT SLOPE CALCULATION:
 HIGHEST ELEVATION POINT: 204.1 FEET
 LOWEST ELEVATION POINT: 182.9 FEET
 ELEVATION DIFFERENCE: 204.1 - 182.9 = 21.2 FEET
 HORIZONTAL DISTANCE BETWEEN HIGH AND LOW POINTS: 140.3 FEET
 LOT SLOPE: (21.2 FEET / 140.3 FEET) * 100 = 15.1%

HARDSCAPE COVERAGE:
 LOT AREA = 25,130 SQUARE FEET
 ALLOWABLE HARDSCAPE AREA = 9%
 ALLOWABLE HARDSCAPE AREA = 2,262 SF
 EXISTING HARDSCAPE AREAS = 3201 SF (WALKWAYS) + 333 SF (ROCKERIES AND RETAINING WALLS) = 3,534 SF
 TOTAL EXISTING HARDSCAPE TO BE REMOVED = 1,105 SF
 TOTAL NEW HARDSCAPE AREA = 0 SF
 TOTAL PROJECT HARDSCAPE AREA = 3,534 SF - 1,105 SF + 0 SF = 2,429 SF
 TOTAL PROJECT HARDSCAPE AREA = 2,429 SF / 25,130 SF = 9.7%

MATERIAL KEY

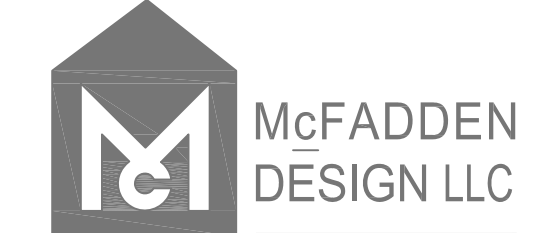
SYMBOL	DESCRIPTION	REMARKS
[Pattern]	LOT COVERAGE REMOVED	EXISTING DRIVEWAY ASPHALT REMOVED
[Pattern]	HARDSCAPE REMOVED	EXISTING HARDSCAPE PATHWAYS REMOVED

BUILDING PAD AREA = 16,721 S.F.
 THERE ARE NO LAND USE APPLICATIONS ASSOCIATED W/ THIS PROJECT.

THE CONTRACTOR SHALL SCOPE ROOF TIGHTLINES AROUND THE HOUSE AND VERIFY THAT THE PIPES ARE CLEAN AND FREE OF DEBRIS SUCH THAT THE SYSTEM IS INTACT. THE CONTRACTOR AND OWNER TAKE FULL RESPONSIBILITY FOR THE CONDITION OF THE DOWNSPOUT TIGHTLINE AND IMPACT TO DOWNSTREAM PROPERTIES. CONTRACTOR TO PROVIDE CLOSED CAPTION TELEVISED VIDEO (CCTV) FOR OWNER AND CITY TO REVIEW THAT SHOWS THE EXISTING DRAINAGE SYSTEM IS WORKING PROPERLY. IF THERE ARE ISSUES WITH THE EXISTING SYSTEM, THE CONTRACTOR SHALL REPAIR THE SYSTEM WITHIN THE OWNER'S PROPERTY LIMITS

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DESIGN	MM
DRAWN	MM
CHECKED	JB
SHEET ISSUE DATE	07.19.2022
DRAWING SETS	
DATE	DESCRIPTION
2023-07-12	PERMIT SET
2024-05-01	REVISED PERMIT SET
REVISIONS	
[Symbol]	REVISION 1



1914 5th St.
 Kirkland, WA 98003

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FLOOR PLAN LEGEND		
SYMBOL	DESCRIPTION	REMARKS
	DEMO WALL	Existing wall to be removed
	EXISTING WALL	Existing wall to remain
	NEW WALL (Line of Drywall)	2x studs @ 16" O.C.
	EXHAUST FAN	CFM AS NOTED, VENT TO EXTERIOR, SWITCH SEPARATELY
	SMOKE ALARM CO2 DETECTOR	CEILING MOUNTED
	SOUND WALL	STAGGERED 2X STUDS WITH ROCK WOOL SOUND BATTIS & ADDITIONAL LAYER GWB AT RECEIVER SIDE

NOTE: CONTRACTOR MUST CONTACT ARCHITECT IMMEDIATELY FOR ANY DISCREPANCIES IN CONTRACT DOCUMENTS OR EXISTING CONDITIONS PRIOR TO PROCEEDING WITH WORK.

- GENERAL STAIR NOTES**
- Tread run to be 10" minimum (11" minimum for occupancies greater than 10).
 - Riser height to be 7 3/4" maximum (7" maximum for occupancies greater than 10).
 - Stair width and landing length to be 36" minimum.
 - Winder tread width to be 6" minimum.
 - Winder tread width to be 10" minimum at a point 12" from inside of stair.
 - Handgrasp width to be 1 1/4" minimum and 2" maximum.
 - Handgrasp to have a minimum clear space to wall surface of 1 1/2".
 - Handgrasp to project into stairway 3 1/2" maximum.
 - Top of handgrasp to be 34" minimum and 38" maximum above nosings.
 - Handgrasp to be continuous from first to last nosing.
 - Handgrasp to return to wall or terminate at a newel post.
 - Guardrails (level) to be capable of withstanding a #200 load at any point in any direction.
 - Guardrail members to be spaced so as to prohibit the passing of a 4" diameter sphere through railing at any point.
 - Guardrail and handrails to be 36" minimum above finish floor.

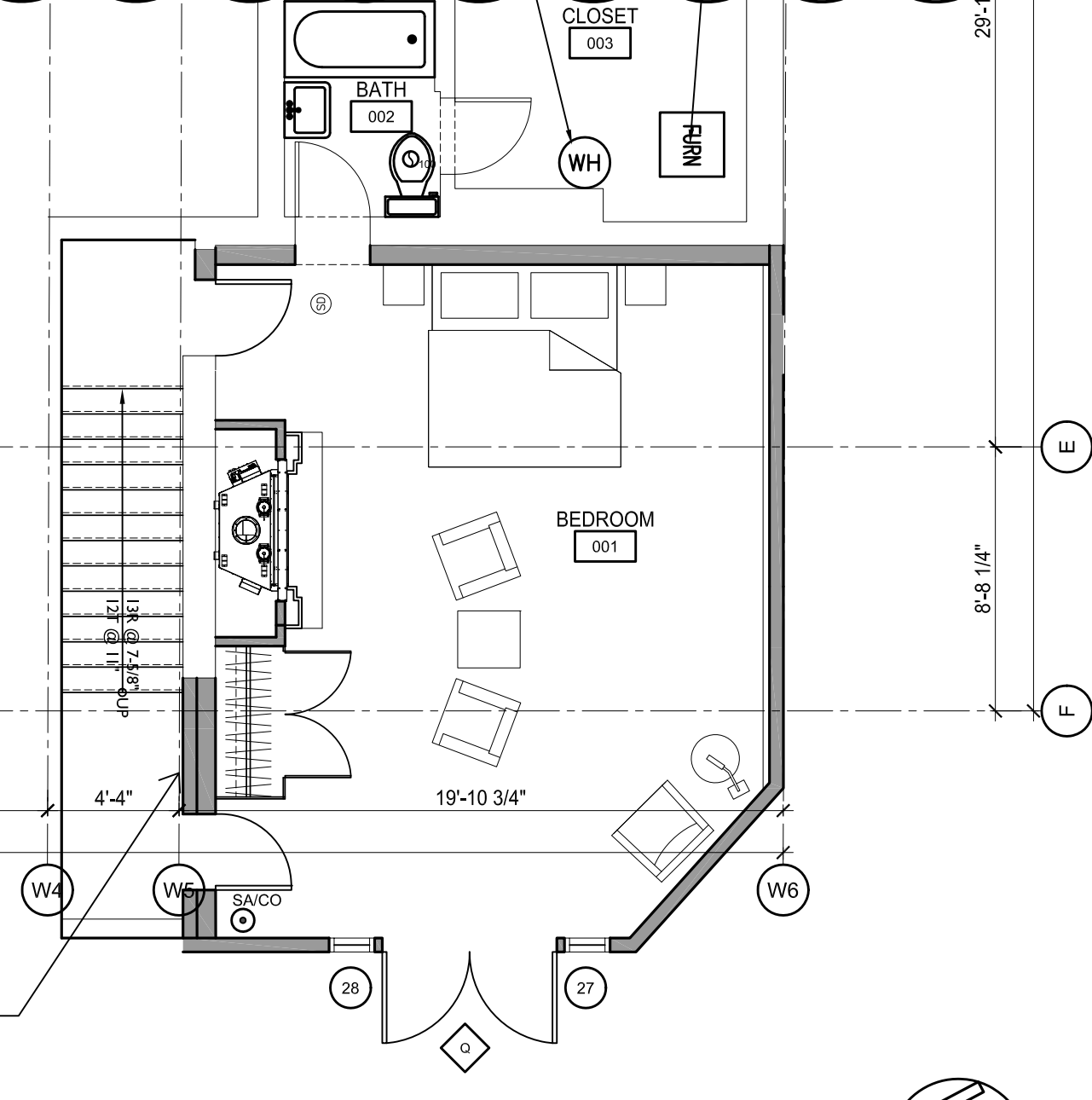
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REVISIONS	
	REVISION 1

NEW HEAT PUMPS COMPLY WITH ENERGY CREDIT 2.1 (REDUCE THE TESTED AIR LEAKAGE TO 3.0 AIR CHANGES PER HOUR MAXIMUM AT 50 PASCALS AND ALL WHOLE HOUSE VENTILATION REQUIREMENTS AS DETERMINED BY SECTION M1507.3 OF THE INTERNATIONAL RESIDENTIAL CODE OR SECTION 403.8 OF THE INTERNATIONAL MECHANICAL CODE SHALL BE MET WITH A HIGH EFFICIENCY FAN(S) (MAXIMUM 0.35 WATTS/CFM). NOT INTERLOCKED WITH THE FURNACE FAN (IF PRESENT). VENTILATION SYSTEMS USING A FURNACE INCLUDING AN ECM MOTOR ARE ALLOWED, PROVIDED THAT THEY ARE CONTROLLED TO OPERATE AT LOW SPEED IN VENTILATION ONLY MODE.)

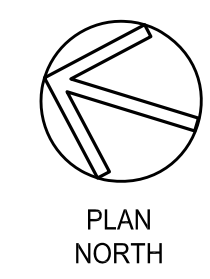
NEW HEAT PUMPS COMPLY WITH ENERGY CREDIT 3.5, MINIMUM HSPF OF 11.0.

NEW HOT WATER HEATER TO COMPLY WITH ENERGY CREDIT 5.5, MEETING THE STANDARDS FOR TIER III OF NEEA'S ADVANCED WATER HEATING SPECIFICATION.

NEW BOILER FOR RADIANT FLOOR HEATING.



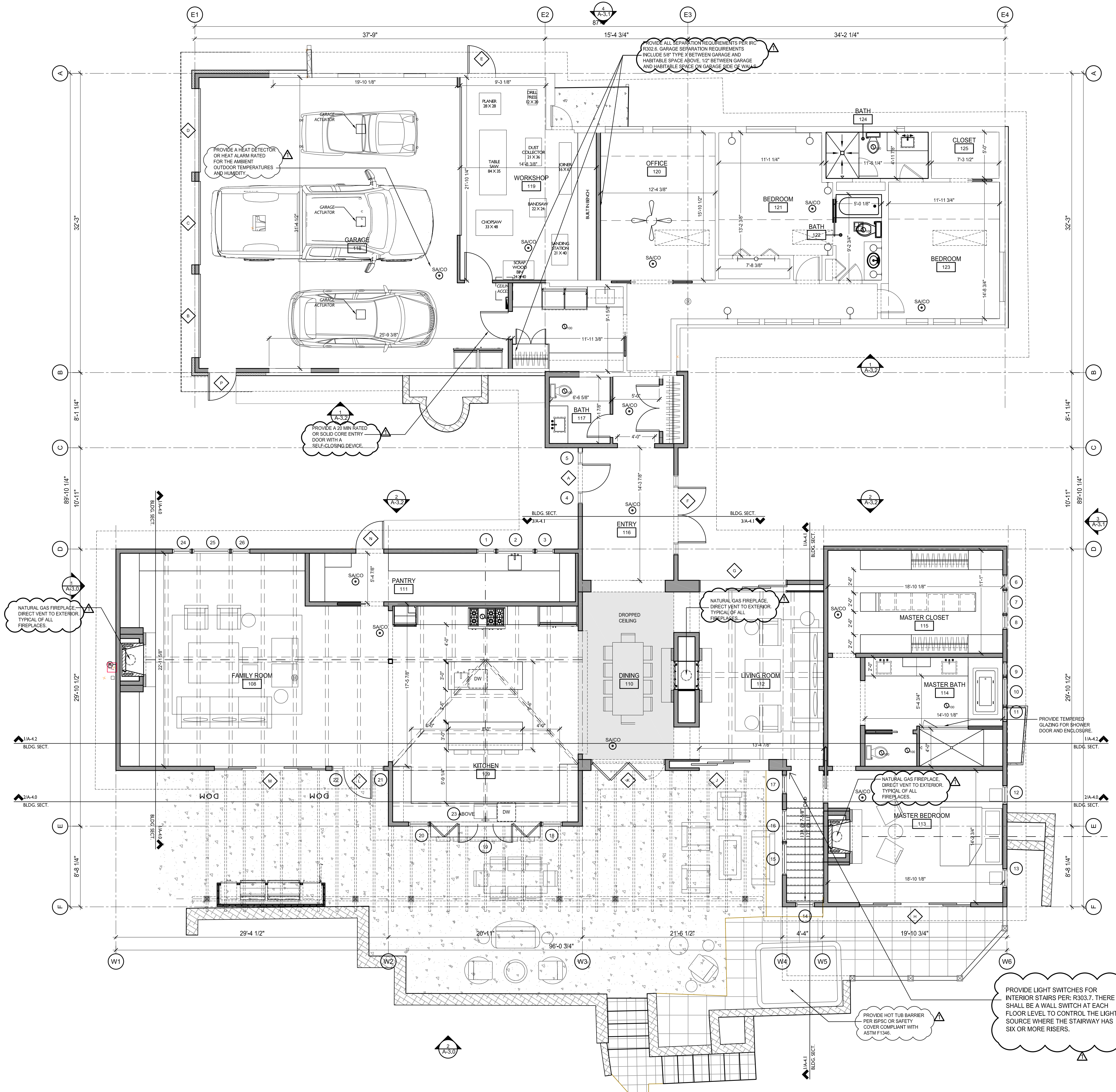
2 LOWER FLOOR PLAN
SCALE: 3/16" = 1'-0"



MAIN FLOOR PLAN

A-2.1

1 MAIN FLOOR PLAN
SCALE: 3/16" = 1'-0"



PROVIDE LIGHT SWITCHES FOR INTERIOR STAIRS PER: R303.7. THERE SHALL BE A WALL SWITCH AT EACH FLOOR LEVEL TO CONTROL THE LIGHT SOURCE WHERE THE STAIRWAY HAS SIX OR MORE RISERS.

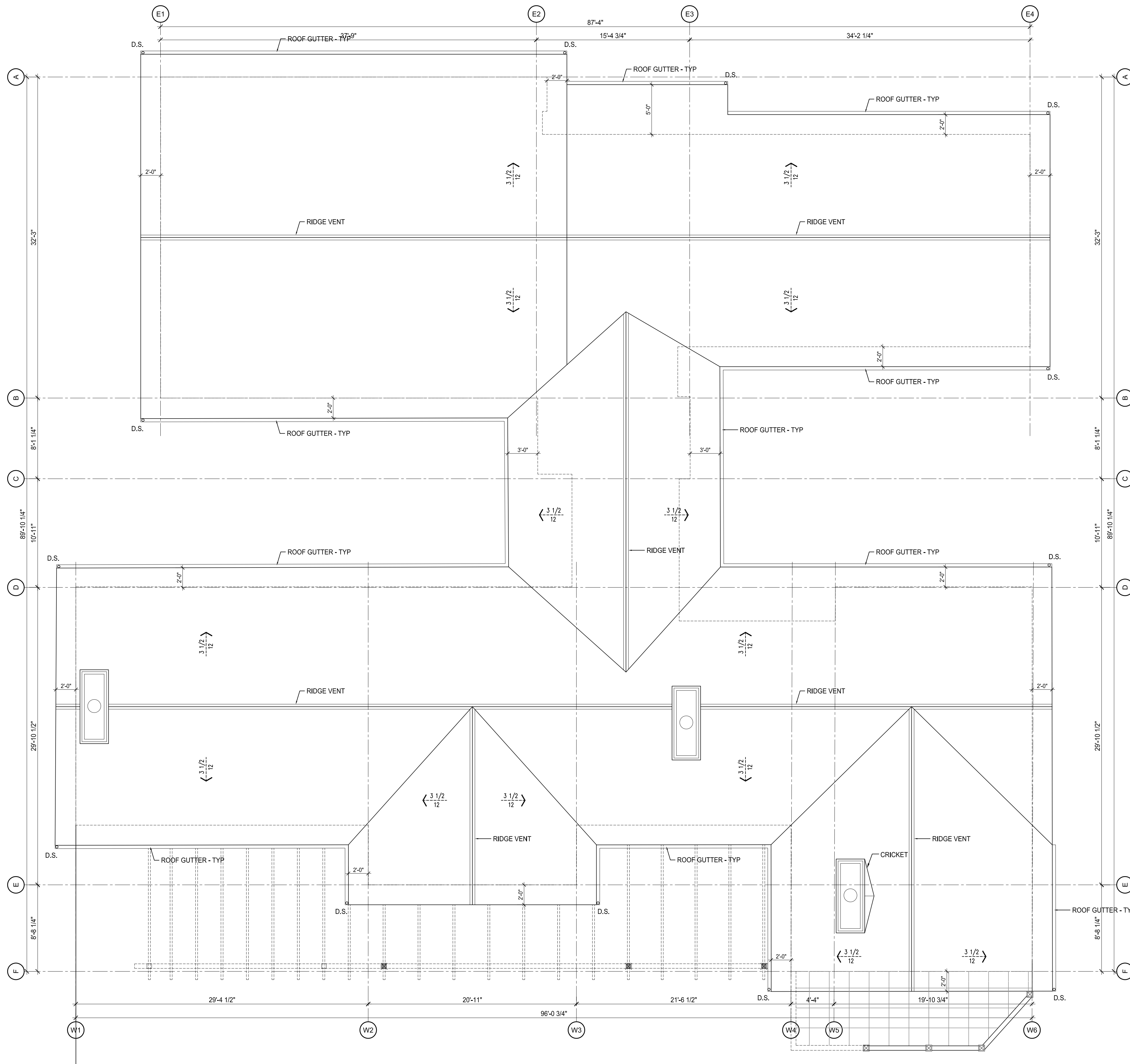
PROVIDE HOT TUB BARRIER PER ISPC or SAFETY COVER COMPLIANT WITH ASTM F1346.

NATURAL GAS FIREPLACE. DIRECT VENT TO EXTERIOR. TYPICAL OF ALL FIREPLACES.

PROVIDE A HEAT DETECTOR OR HEAT ALARM RATED FOR THE AMBIENT OUTDOOR TEMPERATURES AND HUMIDITY.

PROVIDE A 20 MIN RATED OR SOLID CORE ENTRY DOOR WITH A SELF-CLOSING DEVICE.

NATURAL GAS FIREPLACE. DIRECT VENT TO EXTERIOR. TYPICAL OF ALL FIREPLACES.



SEE A-1.1 FOR GENERAL LEGEND

SYMBOL	DESCRIPTION	REMARKS
DS	EXTERIOR DOWNSPOUT	3" DIAMETER, METAL, PAINTED
RD	ROOF DRAIN	AT LOW POINT OF ROOF, 3"- MINIMUM
CRV	CONTINUOUS RIDGE VENT	0.104 S.F. / L.F. NET FREE VENT AREA, MATCH ROOFING COLOR
SV	SOFFIT VENT	0.083 S.F. / L.F. NET FREE VENT AREA

- ROOF PLAN NOTES**
- FLOOD TEST ALL FLAT ROOFS FOR 24 HOURS PRIOR TO INSULATING.
 - ROOFING CONTRACTOR TO GUARANTEE MATERIALS AND WORKMANSHIP FOR 10 YEARS.
 - ALL ROOF PENETRATION LOCATIONS TO BE APPROVED BY ARCHITECT PRIOR TO ROUGH IN. NO ROOF PENETRATIONS ON THE (FRONT) SIDE OF ROOF. MINIMIZE QUANTITIES OF ROOF PENETRATIONS AS MUCH AS POSSIBLE. COMBINE VENT STACKS.
 - CONTRACTOR TO FIELD VERIFY VENTING CONTINUITY AND 1" MINIMUM AIRSPACE ABOVE INSULATION.

NOTE:
ALL NEW DOWN SPOUTS TO BE CONNECTED TO EXISTING TIGHTLINE SYSTEM.

ROOF VENTILATION CALCULATIONS - HOUSE

ROOF AREA	6,598 SQUARE FEET
REQUIRED VENT AREA	6,598 / 300 = 21.99 SQUARE FEET
RIDGE VENT	275.17 L.F. PROVIDED 0.104 S.F. PER L.F. VENT AREA 275.17 X 0.104 = 28.6 S.F. PROVIDED
SOFFIT VENT	540.5 L.F. PROVIDED 2" WIDE CONT. VENT WITH 1/4" GALV. VENT SCREEN = 0.083 S.F. VENT AREA PER L.F. 540.5 X 0.083 = 44.9 S.F. PROVIDED
EAVE BLOCKING	FULL HEIGHT BLOCKING WITH (6) 2-1/2" VENT HOLES PER 14" GREATER THAN OR EQUAL TO SOFFIT VENTING
TOTAL VENT AREA	73.5 S.F. TOTAL VENT AREA PROVIDED

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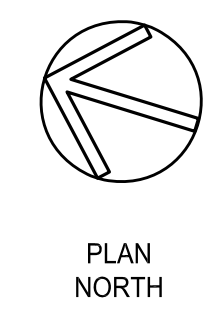
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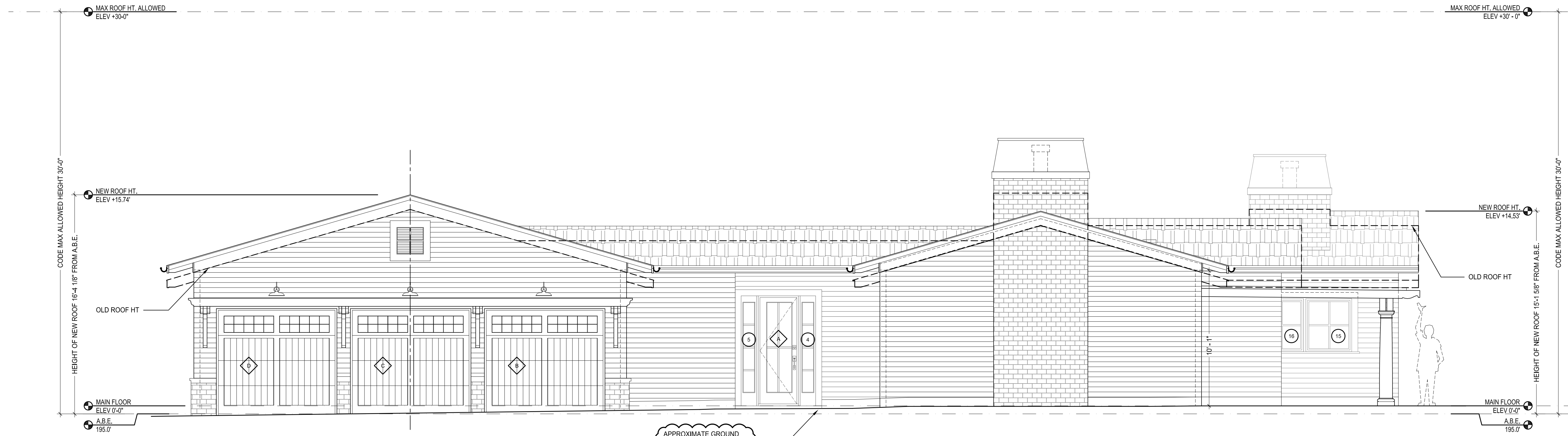
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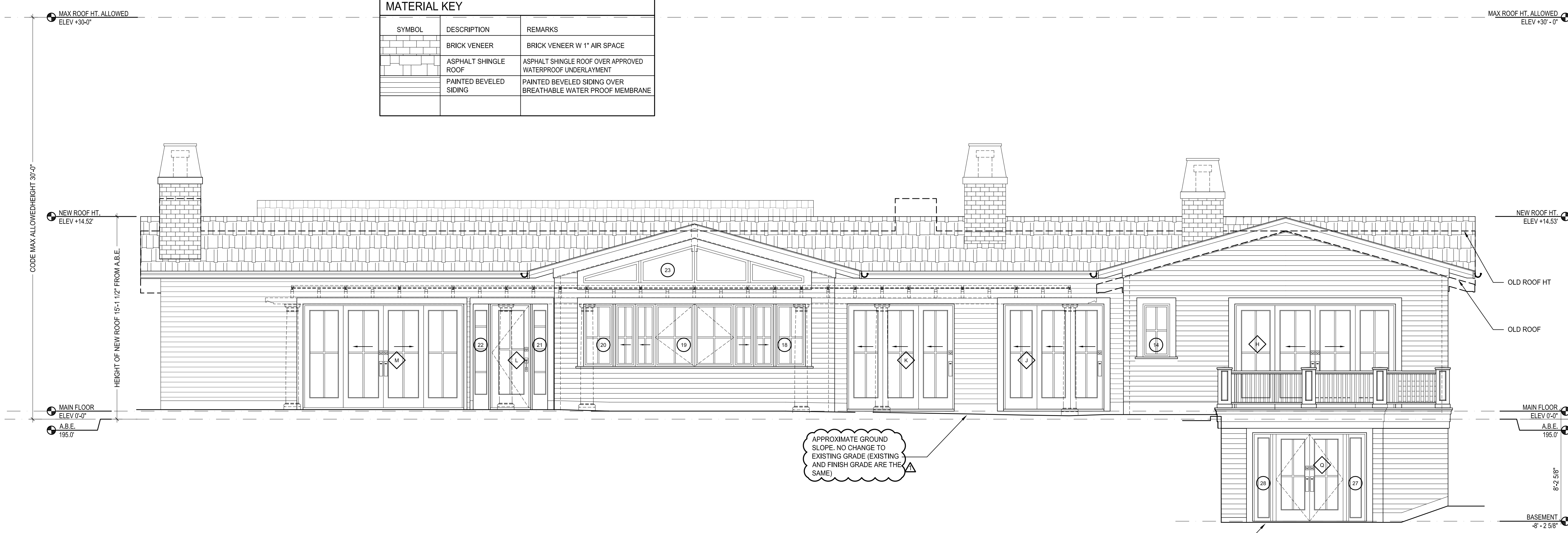
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1 NORTH ELEVATION
 Scale 1/4" = 1'-0"

NOTE: +0'-0" (T.O. MAIN FINISH FLOOR) = ELEVATION 195.5'

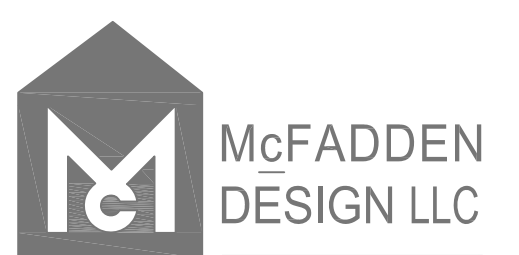
SYMBOL	DESCRIPTION	REMARKS
	BRICK VENEER	BRICK VENEER W 1" AIR SPACE
	ASPHALT SHINGLE ROOF	ASPHALT SHINGLE ROOF OVER APPROVED WATERPROOF UNDERLAYMENT
	PAINTED BEVELED SIDING	PAINTED BEVELED SIDING OVER BREATHABLE WATER PROOF MEMBRANE



2 WEST ELEVATION
 Scale 1/4" = 1'-0"

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EXTERIOR ELEVATIONS

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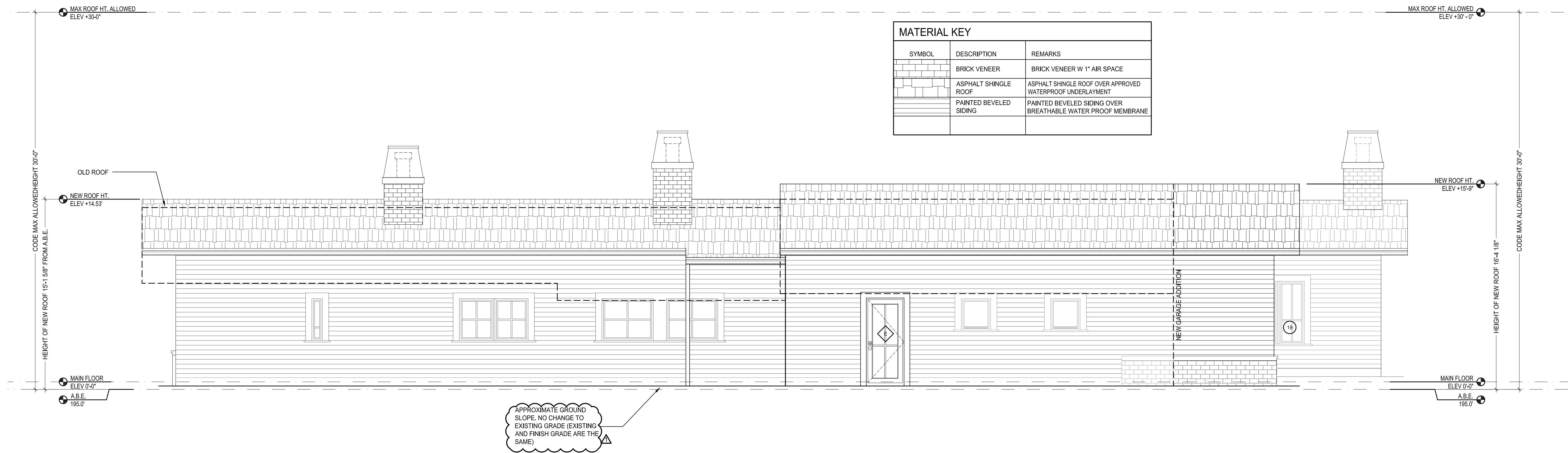
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1 SOUTH ELEVATION
 Scale 1/4" = 1'-0"

NOTE: +0'-0" (T.O. MAIN FINISH FLOOR) = ELEVATION 195.5'

MATERIAL KEY		
SYMBOL	DESCRIPTION	REMARKS
	BRICK VENEER	BRICK VENEER W 1" AIR SPACE
	ASPHALT SHINGLE ROOF	ASPHALT SHINGLE ROOF OVER APPROVED WATERPROOF UNDERLAYMENT
	PAINTED BEVELED SIDING	PAINTED BEVELED SIDING OVER BREATHABLE WATER PROOF MEMBRANE



2 EAST ELEVATION
 Scale 1/4" = 1'-0"

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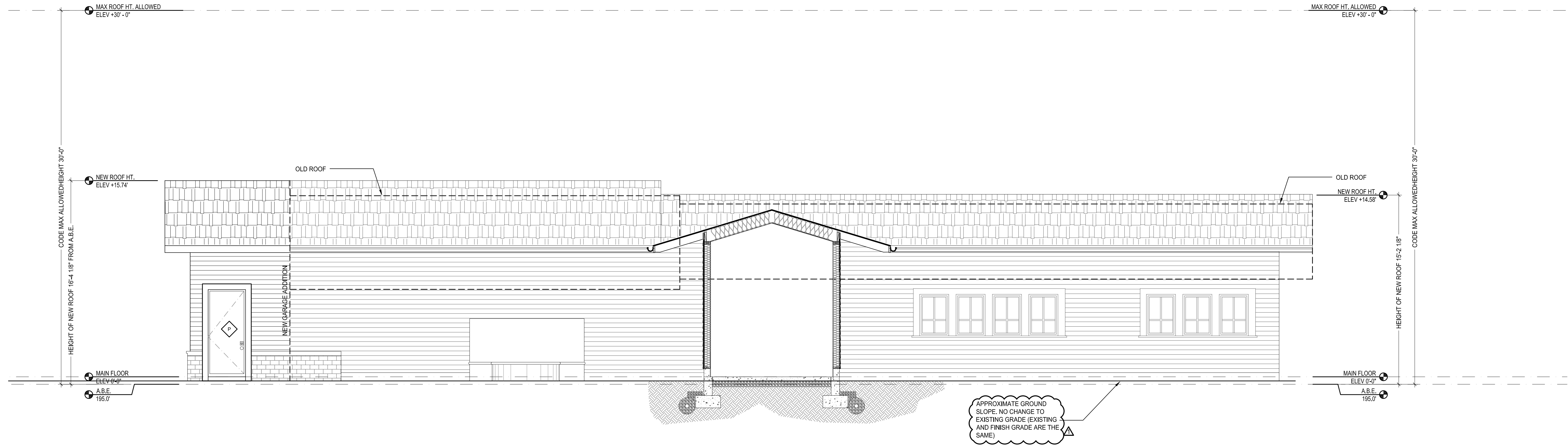
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EXTERIOR ELEVATIONS

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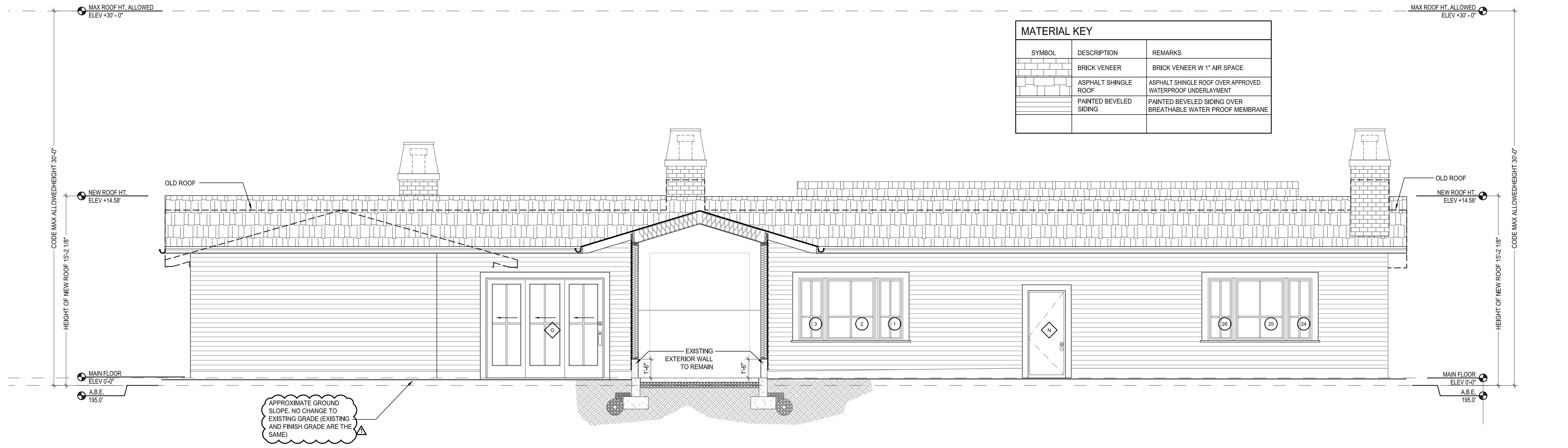
1 WEST GARAGE ELEVATION
 Scale 1/4" = 1'-0"

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NOTE: +0'-0" (T.O. MAIN FINISH FLOOR) = ELEVATION 195.5'

SYMBOL	DESCRIPTION	REMARKS
	BRICK VENEER	BRICK VENEER W 1" AIR SPACE
	ASPHALT SHINGLE ROOF	ASPHALT SHINGLE ROOF OVER APPROVED WATERPROOF UNDERLAYMENT
	PAINTED BEVELED SIDING	PAINTED BEVELED SIDING OVER BREATHABLE WATER PROOF MEMBRANE



2 ENTRY SECTION
 Scale 1/4" = 1'-0"



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EXTERIOR ELEVATIONS

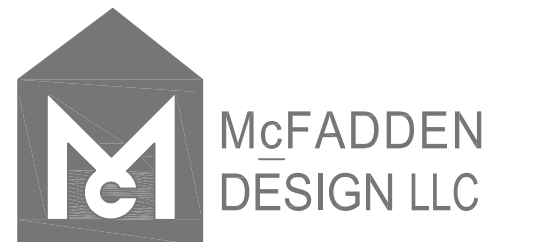
A-3.2

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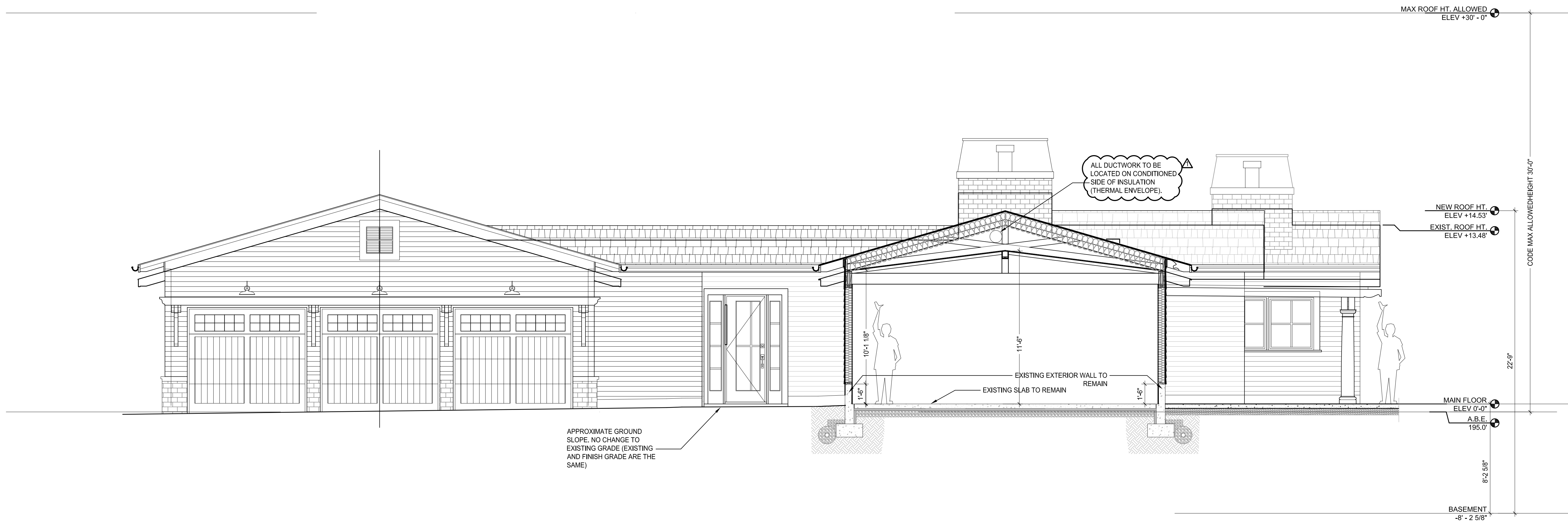
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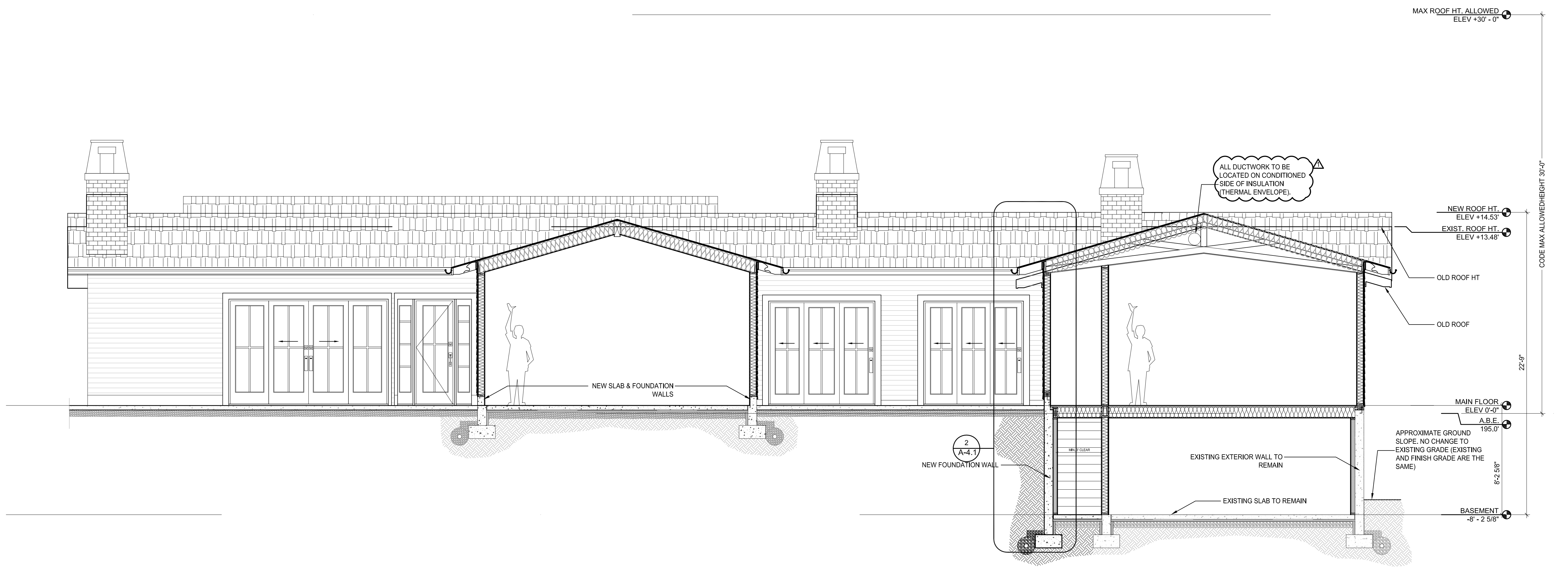
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BUILDING SECTION

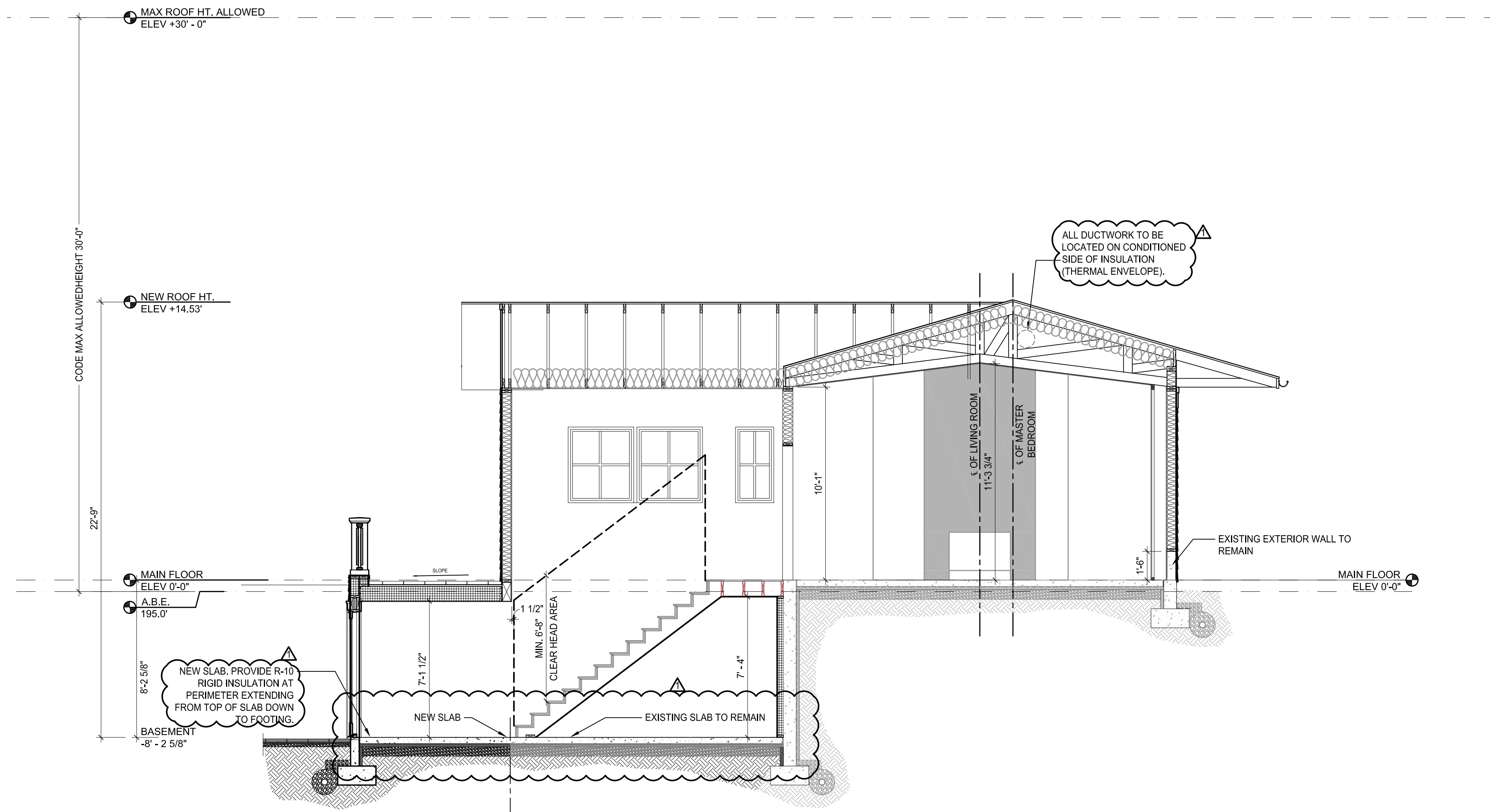
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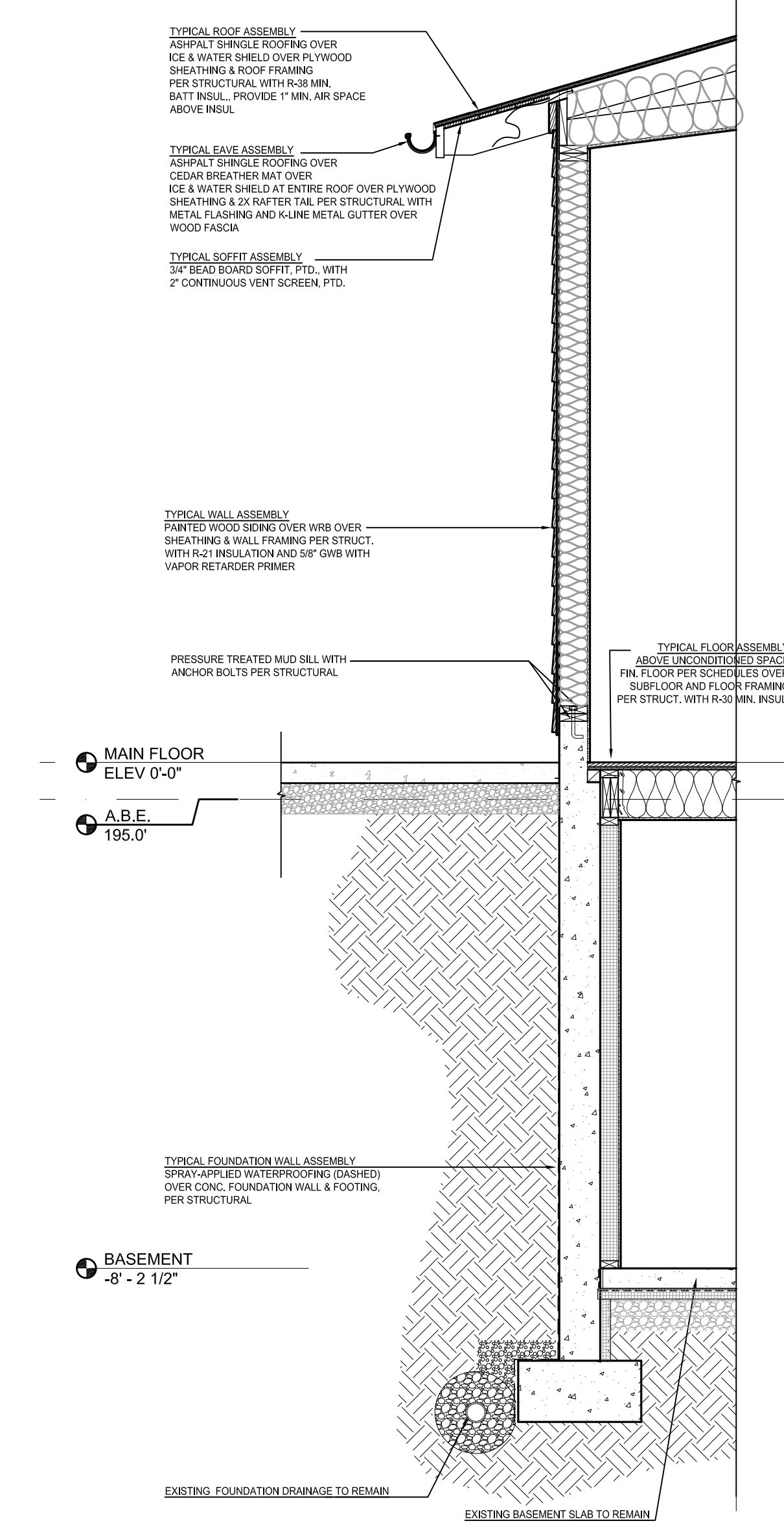
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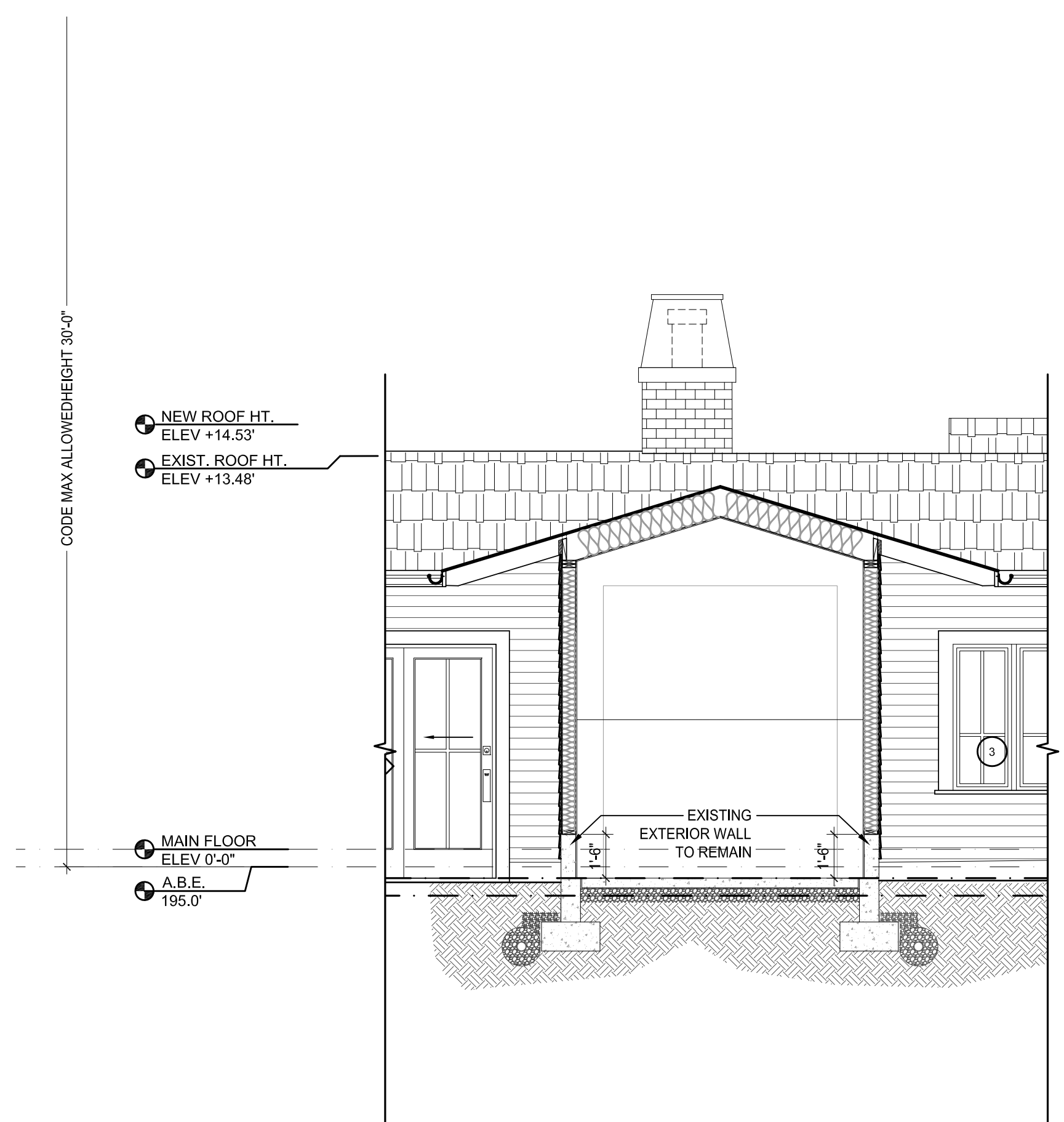
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 Scale 1/4" = 1'-0"



1 BUILDING SECTION
Scale 1/4" = 1'-0"



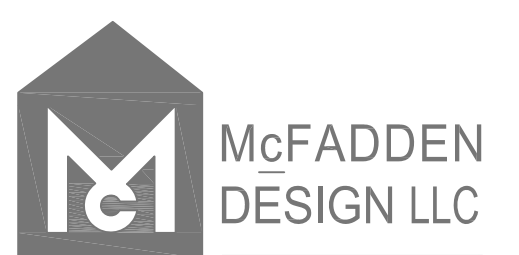
2 NEW WALL SECTION
Scale 1/2" = 1'-0"



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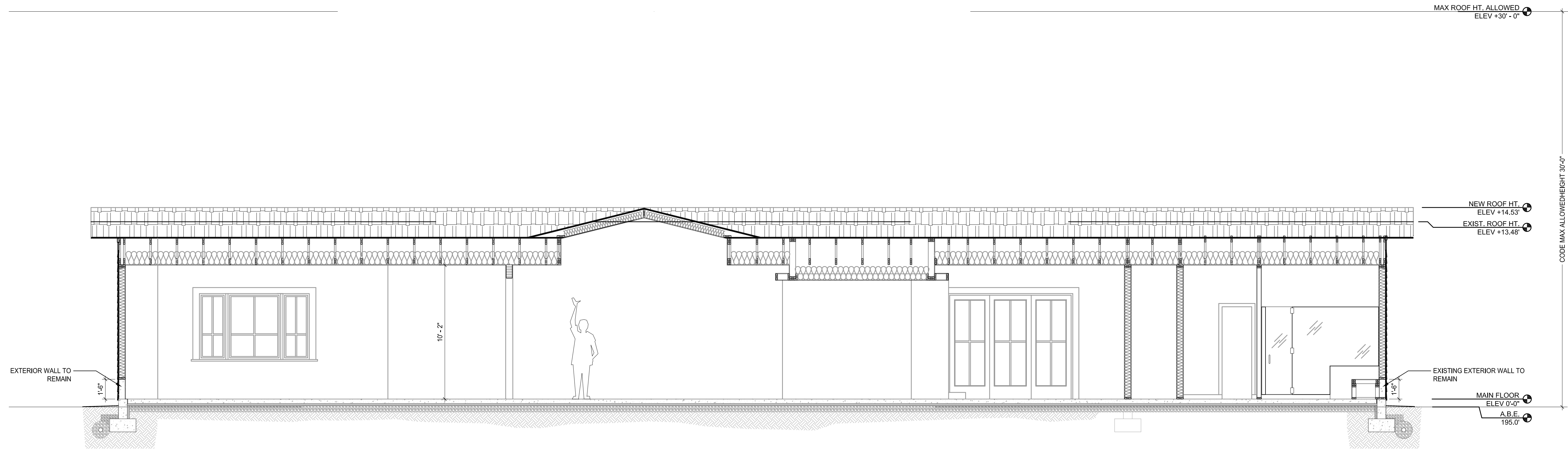
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BUILDING SECTION

A-4.1

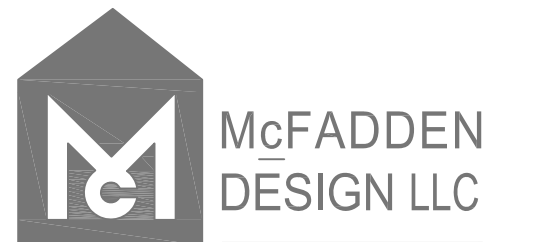
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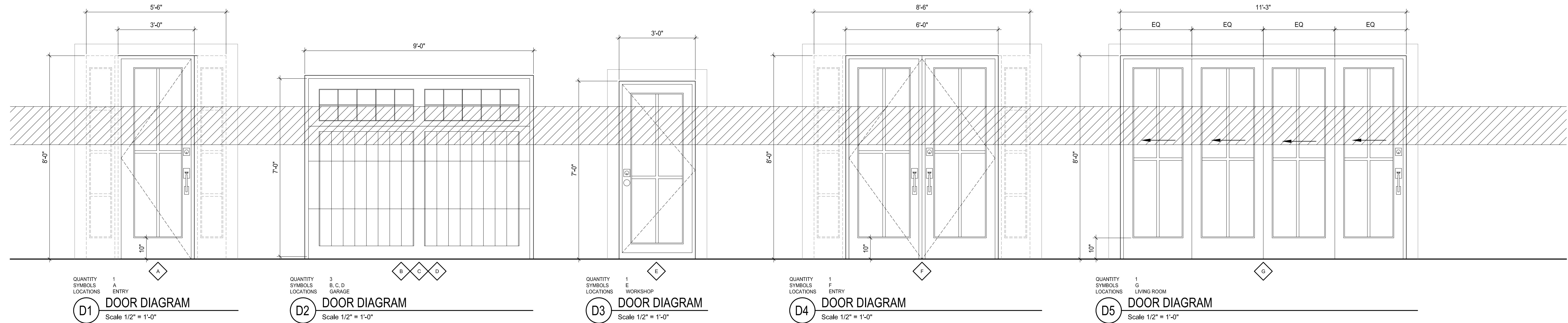
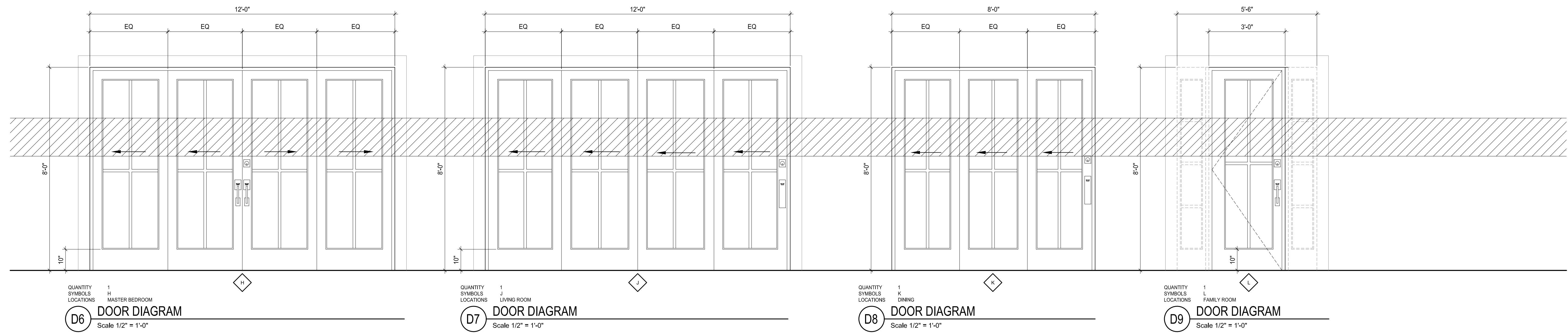
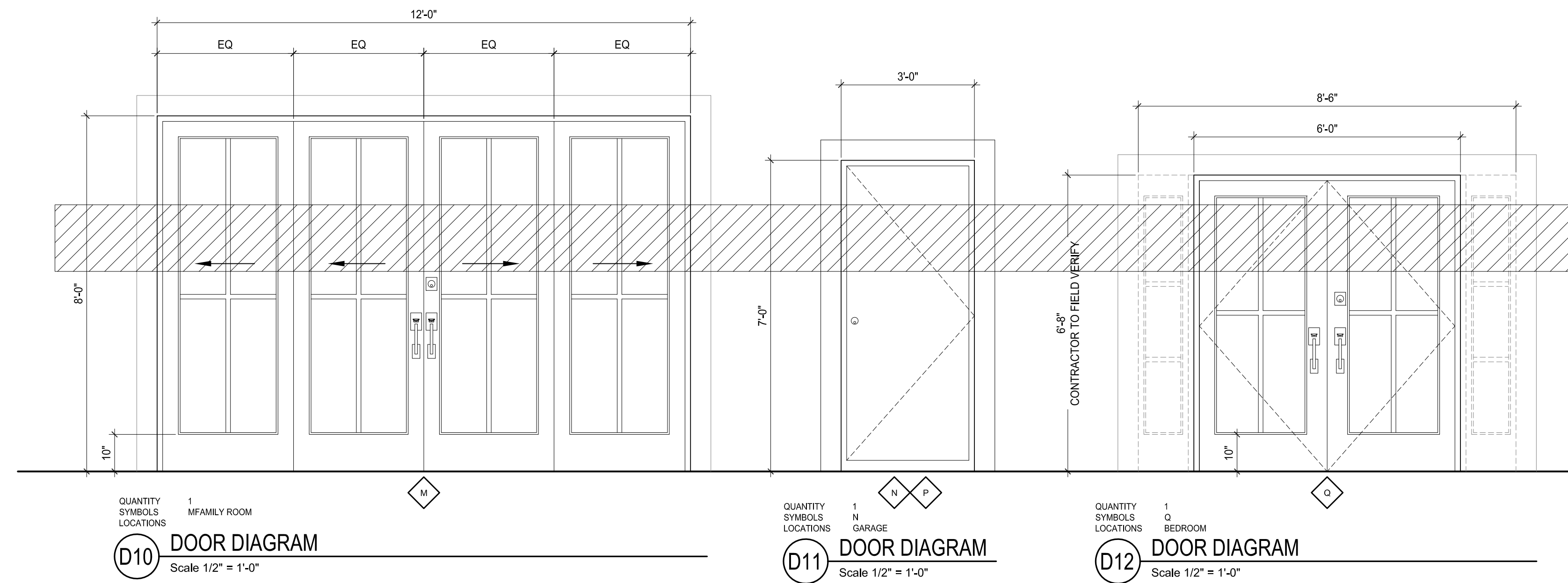
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SYMBOL	LOCATION	ROOM	DIAGRAM	TYPE	GLAZED AREA	FINISH (INT. / EXT.)	U	REMARKS
A	SEE DIAGRAM	116	D1	SWINGING	12.14 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
B	SEE DIAGRAM	118	D2	OVERHEAD	8.9 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
C	SEE DIAGRAM	118	D2	OVERHEAD	8.9 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
D	SEE DIAGRAM	118	D2	OVERHEAD	8.9 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
E	SEE DIAGRAM	119	D3	SWINGING	11.65 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
F	SEE DIAGRAM	116	D4	SWINGING	26.32 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
G	SEE DIAGRAM	112	D5	SLIDING	50.16 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
H	SEE DIAGRAM	113	D6	SLIDING	57.12 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
J	SEE DIAGRAM	112	D7	SLIDING	57.12 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
K	SEE DIAGRAM	110	D8	BI-FOLDING	34.68 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
L	SEE DIAGRAM	108	D9	SWINGING	12.14 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
M	SEE DIAGRAM	108	D10	SLIDING	57.12 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
N	SEE DIAGRAM	111	D11	SWINGING	NA	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
P	SEE DIAGRAM	118	D11	SWINGING	NA	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
Q	SEE DIAGRAM	001	D12	SWINGING	26.32 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)

DOOR SCHEDULE ORGANIZATION
 1. EXTERIOR DOORS ARE CALLED OUT WITH A SINGLE LETTER (EXAMPLE: A, B, C...)
 2. PROVIDE EXTERIOR TRIM AND WALL COVERS AS INDICATED ON EXTERIOR ELEVATIONS AND DETAILS
 3. LABELING BEGINS AT THE MAIN LEVEL, THEN LOWER
 4. CONTRACTOR TO COVER ALL REQUIRED ROUGH OPENING SIZES WITH MANUFACTURER'S FRAMING
 5. MANUFACTURER TO REVIEW INSTALLATION LOCATIONS AND DETERMINE WHICH LITES ARE REQUIRED TO BE SAFETY GLAZING
 6. MANUFACTURER TO REVIEW INSTALLATION LOCATIONS AND SIZES TO DETERMINE IF OPERABLE DOORS MEET EGRESS REQUIREMENTS

DOOR DIAGRAM NOTES
 1. ALL DIAGRAMS ARE SHOWN FROM THE EXTERIOR SIDE
 2. PROVIDE EXTERIOR TRIM AND WALL COVERS AS INDICATED ON EXTERIOR ELEVATIONS AND DETAILS
 3. SHOP DRAWING APPROVAL BY ARCHITECT REQUIRED PRIOR TO FABRICATION
 4. CONTRACTOR TO COVER ALL REQUIRED ROUGH OPENING SIZES WITH MANUFACTURER'S FRAMING
 5. MANUFACTURER TO REVIEW INSTALLATION LOCATIONS AND DETERMINE WHICH LITES ARE REQUIRED TO BE SAFETY GLAZING
 6. MANUFACTURER TO REVIEW INSTALLATION LOCATIONS AND SIZES TO DETERMINE IF OPERABLE DOORS MEET EGRESS REQUIREMENTS



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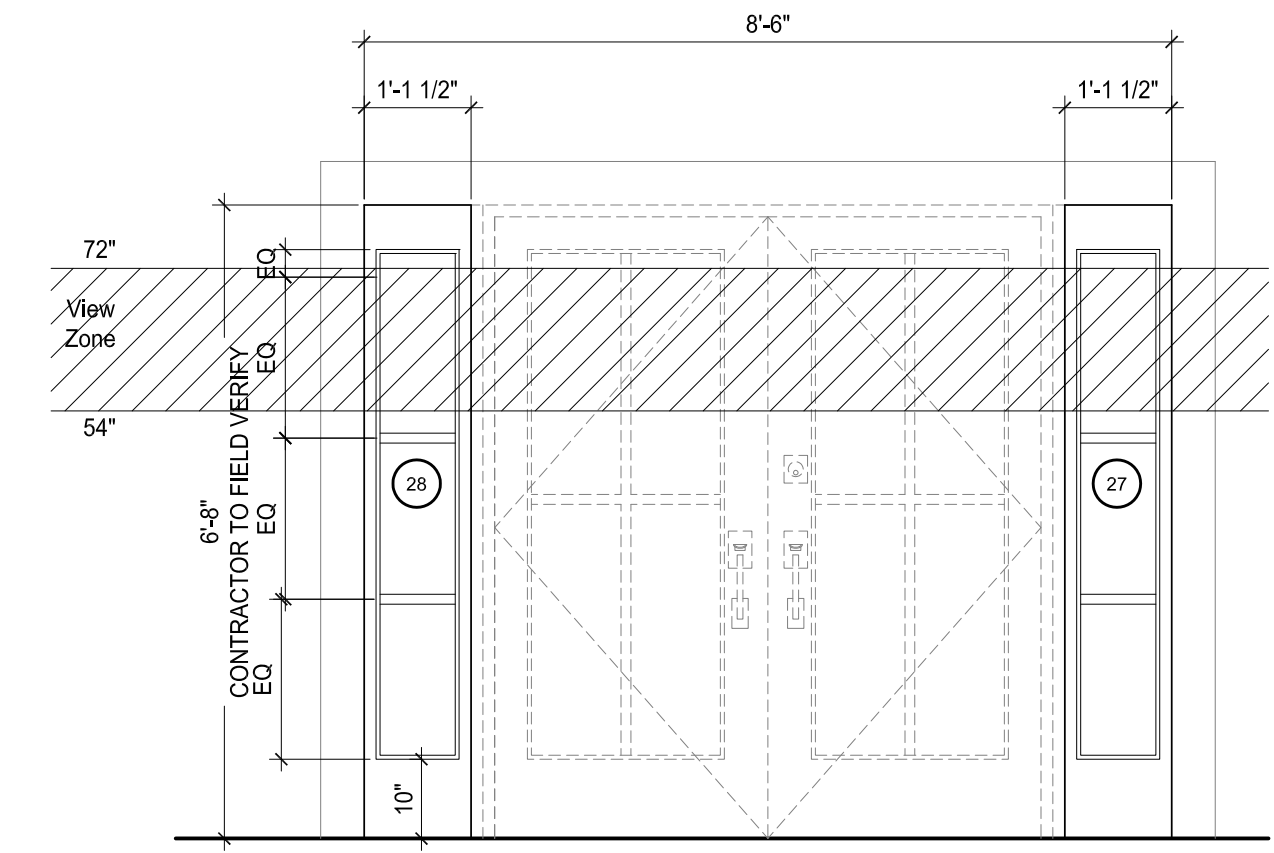
DOOR DIAGRAMS
 & SCHEDULE

A-6.0

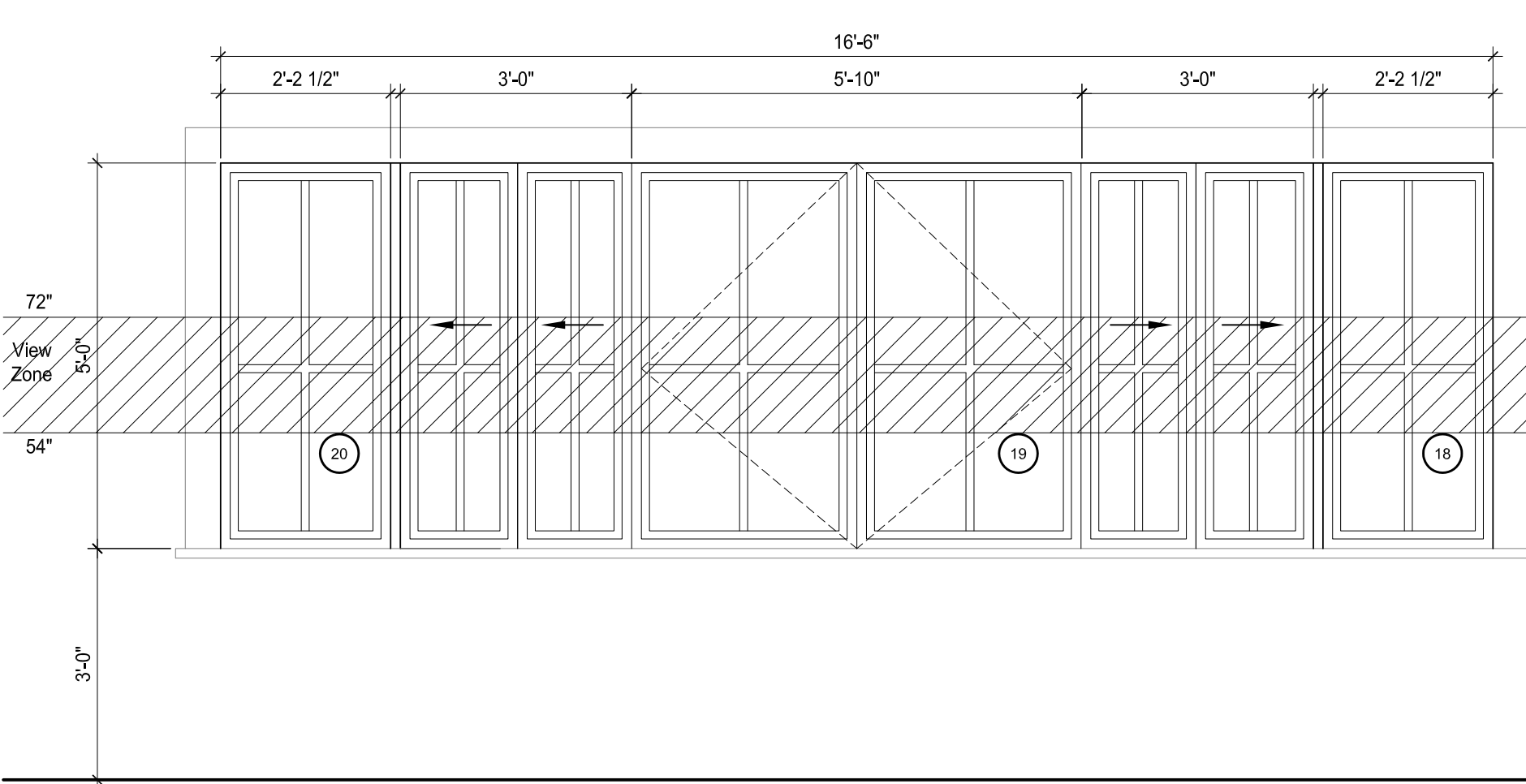
SYMBOL	LOCATION	ROOM	DIAGRAM	TYPE	AREA	FINISH	U	REMARKS
1	SEE DIAGRAM	111	W1	FIXED	1.0 SF	PTD. / CLAD	0.24	SAFETY GLASS
2	SEE DIAGRAM	111	W1	FIXED	16.08 SF	PTD. / CLAD	0.24	SAFETY GLASS
3	SEE DIAGRAM	111	W1	FIXED	1.0 SF	PTD. / CLAD	0.24	SAFETY GLASS
4	SEE DIAGRAM	116	W2	FIXED	5.24 SF	PTD. / CLAD	0.24	SAFETY GLASS
5	SEE DIAGRAM	116	W2	FIXED	5.24 SF	PTD. / CLAD	0.24	SAFETY GLASS
6	SEE DIAGRAM	115	W3	CASEMENT	5.1 SF	PTD. / CLAD	0.24	SAFETY GLASS
7	SEE DIAGRAM	115	W3	FIXED	9.95 SF	PTD. / CLAD	0.24	SAFETY GLASS
8	SEE DIAGRAM	115	W3	CASEMENT	5.1 SF	PTD. / CLAD	0.24	SAFETY GLASS
9	SEE DIAGRAM	114	W4	CASEMENT	5.1 SF	PTD. / CLAD	0.24	SAFETY GLASS
10	SEE DIAGRAM	114	W4	FIXED	9.95 SF	PTD. / CLAD	0.24	SAFETY GLASS
11	SEE DIAGRAM	114	W4	CASEMENT	5.1 SF	PTD. / CLAD	0.24	SAFETY GLASS
12	SEE DIAGRAM	113	W5	FIXED	5.72 SF	PTD. / CLAD	0.24	-
13	SEE DIAGRAM	113	W5	FIXED	5.72 SF	PTD. / CLAD	0.24	-
14	SEE DIAGRAM	STAIRS	W5	FIXED	5.72 SF	PTD. / CLAD	0.24	-
15	SEE DIAGRAM	STAIRS	W6	FIXED	10.98 SF	PTD. / CLAD	0.24	SAFETY GLASS
16	SEE DIAGRAM	STAIRS	W6	FIXED	10.98 SF	PTD. / CLAD	0.24	SAFETY GLASS
17	SEE DIAGRAM	STAIRS	W5	FIXED	5.72 SF	PTD. / CLAD	0.24	-
18	SEE DIAGRAM	109	W7	FIXED	7.93 SF	PTD. / CLAD	0.24	SAFETY GLASS
19	SEE DIAGRAM	109	W7	BH-FOLD	41.68 SF	PTD. / CLAD	0.24	SAFETY GLASS
20	SEE DIAGRAM	109	W7	FIXED	7.93 SF	PTD. / CLAD	0.24	SAFETY GLASS
21	SEE DIAGRAM	108	W8	FIXED	5.24 SF	PTD. / CLAD	0.24	SAFETY GLASS
22	SEE DIAGRAM	108	W8	FIXED	5.24 SF	PTD. / CLAD	0.24	SAFETY GLASS
23	SEE DIAGRAM	109	W9	FIXED	19.56 SF	PTD. / CLAD	0.24	-
24	SEE DIAGRAM	108	W10	FIXED	1.0 SF	PTD. / CLAD	0.24	SAFETY GLASS
25	SEE DIAGRAM	108	W10	FIXED	16.08 SF	PTD. / CLAD	0.24	SAFETY GLASS
26	SEE DIAGRAM	108	W10	FIXED	1.0 SF	PTD. / CLAD	0.24	SAFETY GLASS
27	SEE DIAGRAM	001	W11	FIXED	5.24 SF	PTD. / CLAD	0.24	SAFETY GLASS
28	SEE DIAGRAM	001	W11	FIXED	5.24 SF	PTD. / CLAD	0.24	SAFETY GLASS

GLAZING NOTES:

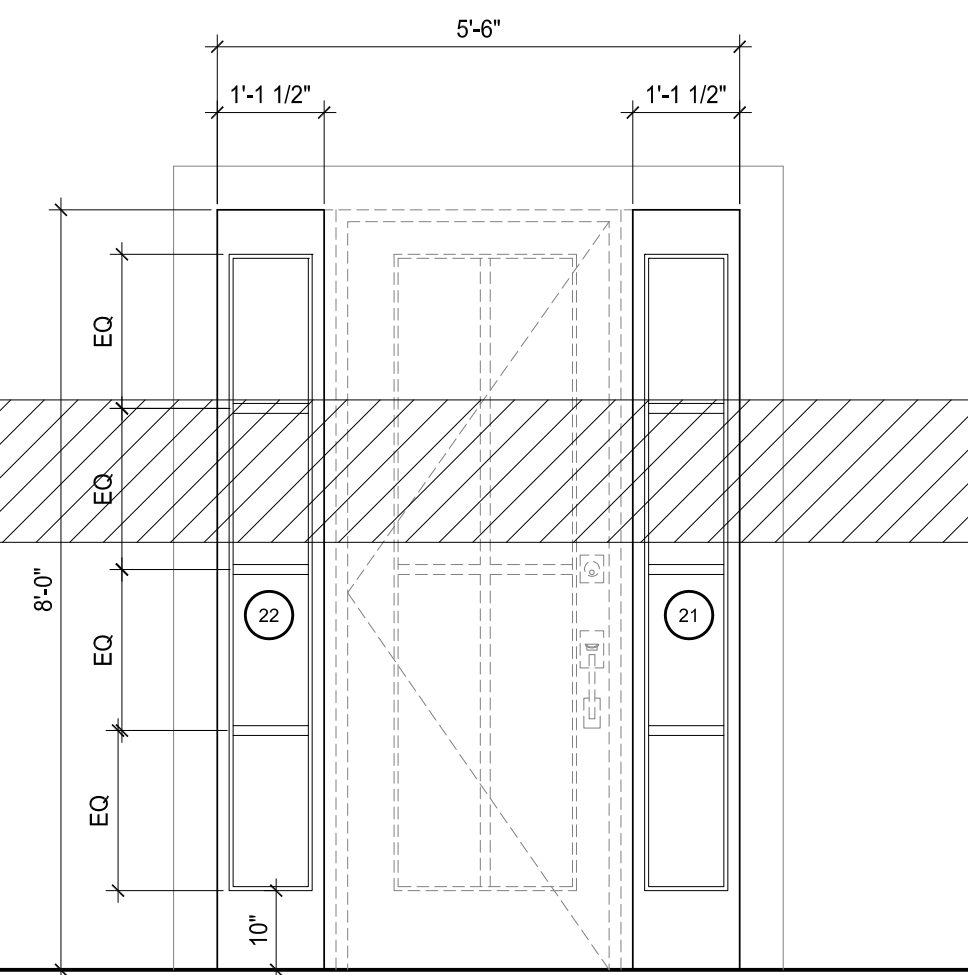
1. GLAZING SHALL BE IN ACCORDANCE WITH IRC SECTION 308
2. EXTERIOR GLAZING; ALL EXTERIOR WALL GLAZING SHALL BE DOUBLE-GLAZED AND COMPLY WITH WASHINGTON STATE ENERGY CODE (WAC 51-11)



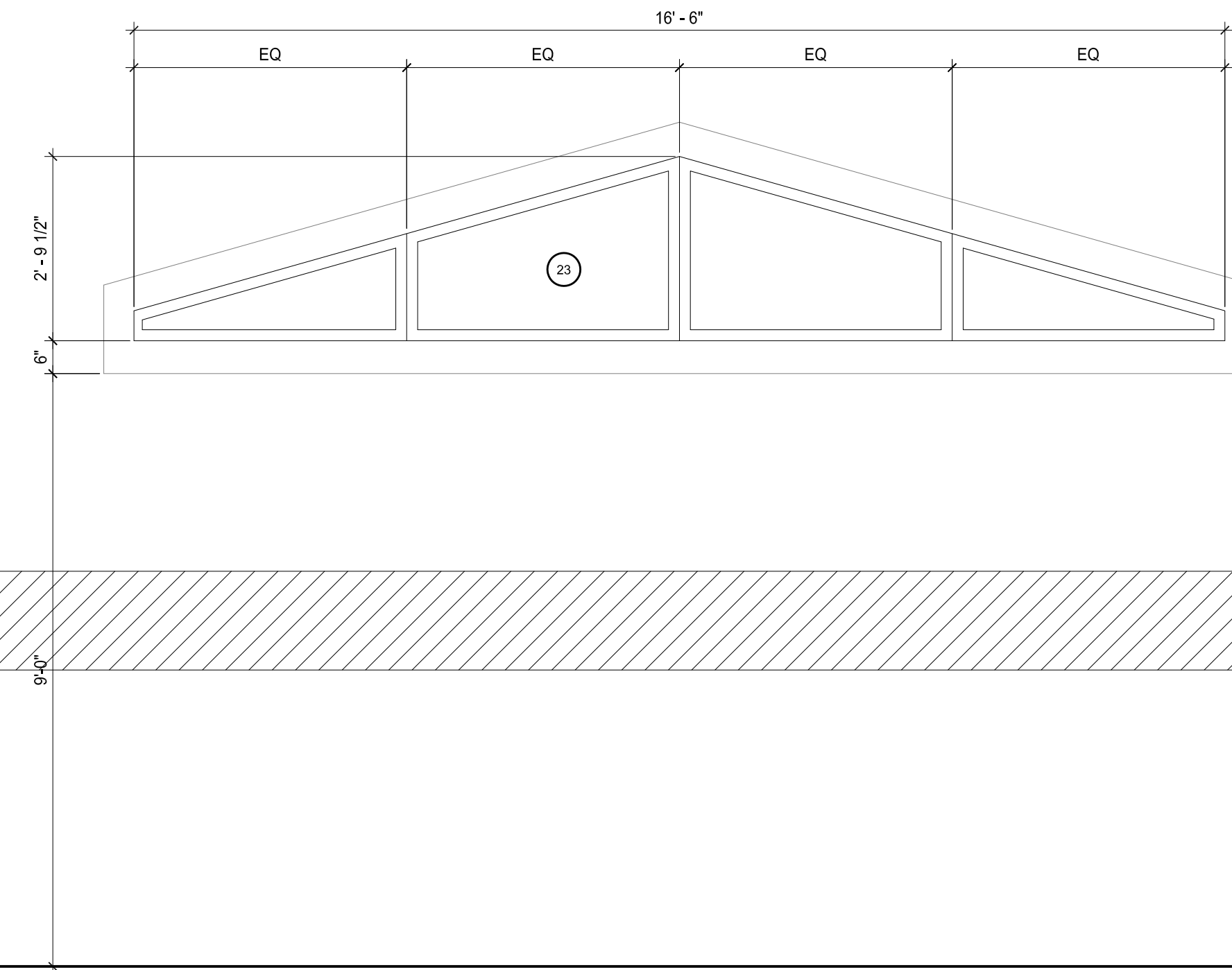
QUANTITY 2
SYMBOLS 27, 28
LOCATIONS BEDROOM
W11 WINDOW DIAGRAM
Scale 1/2" = 1'-0"



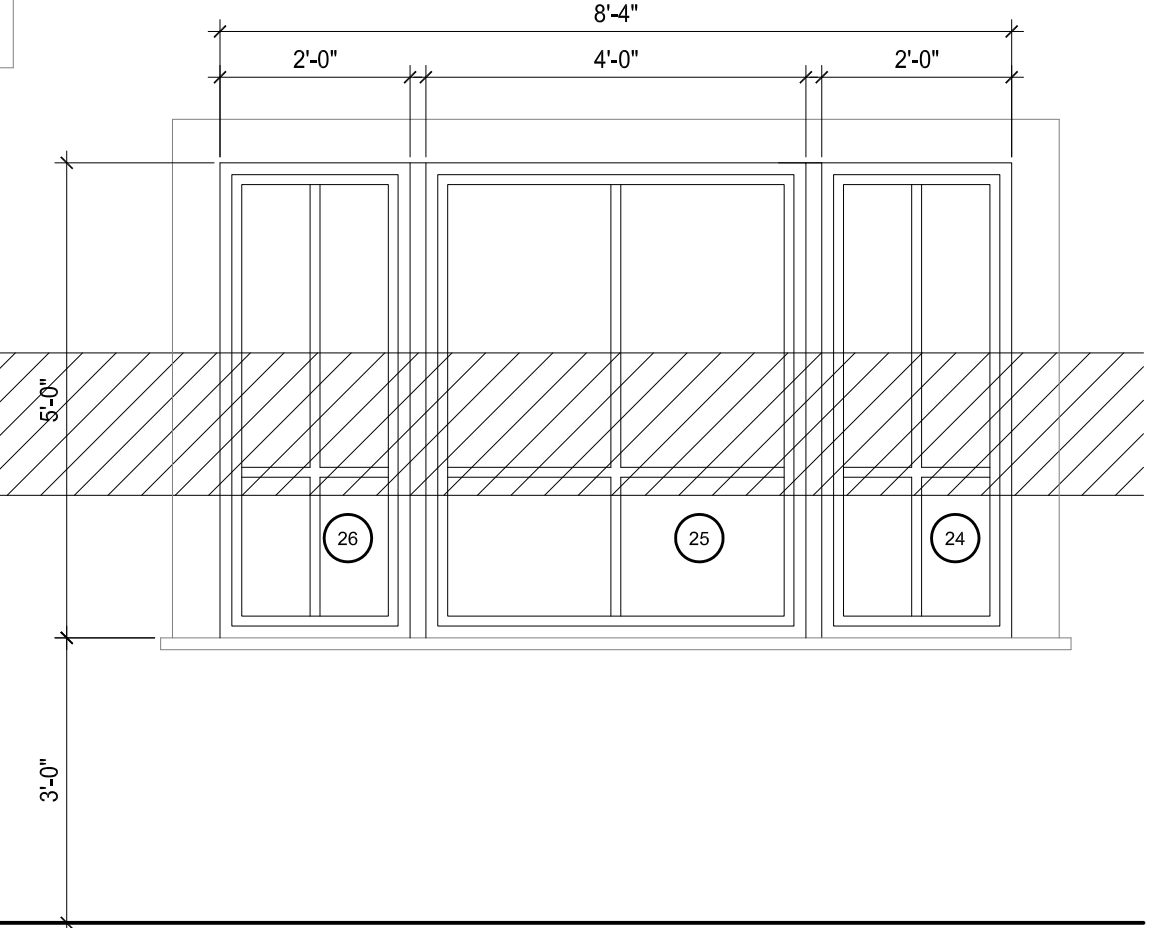
QUANTITY 1
SYMBOLS 18, 19, 20
LOCATIONS KITCHEN
W7 WINDOW DIAGRAM
Scale 1/2" = 1'-0"



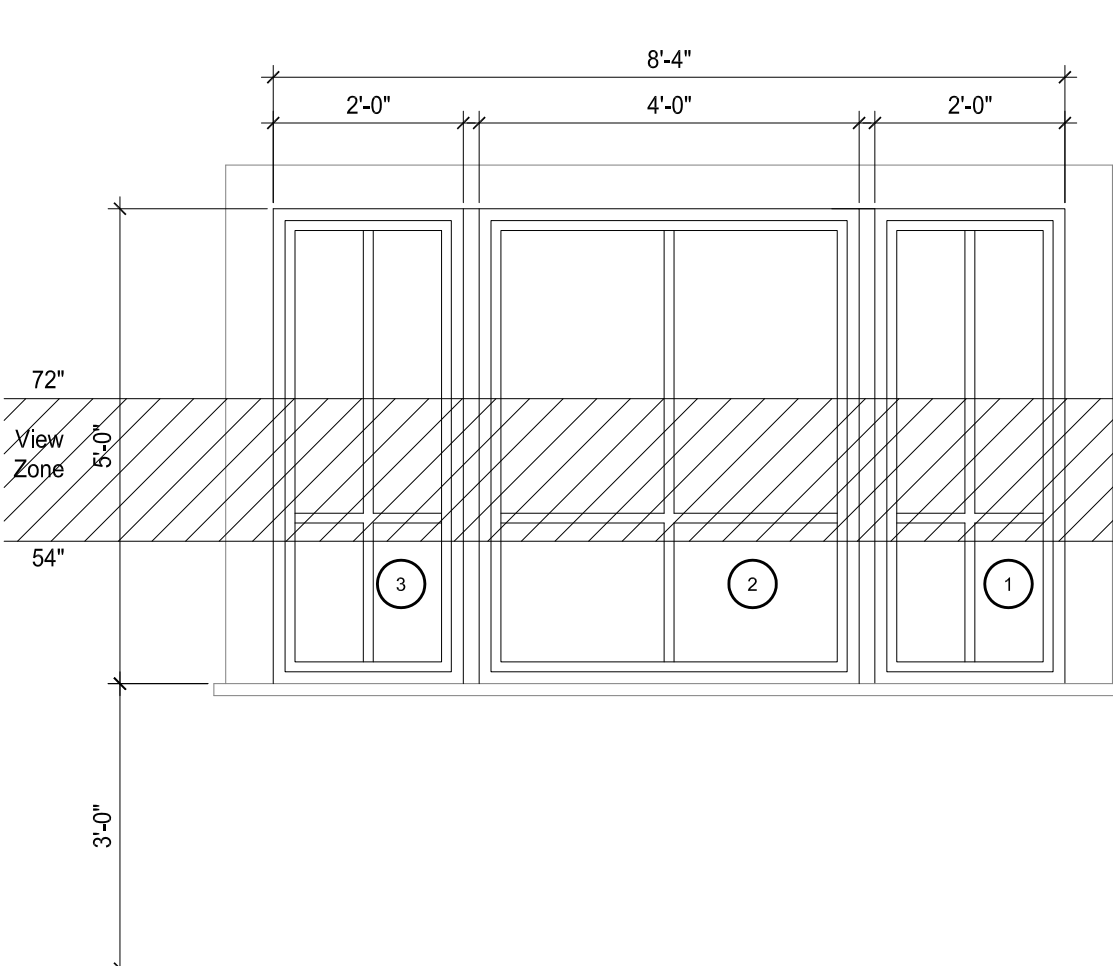
QUANTITY 1
SYMBOLS 21, 22
LOCATIONS FAMILY ROOM
W8 WINDOW DIAGRAM
Scale 1/2" = 1'-0"



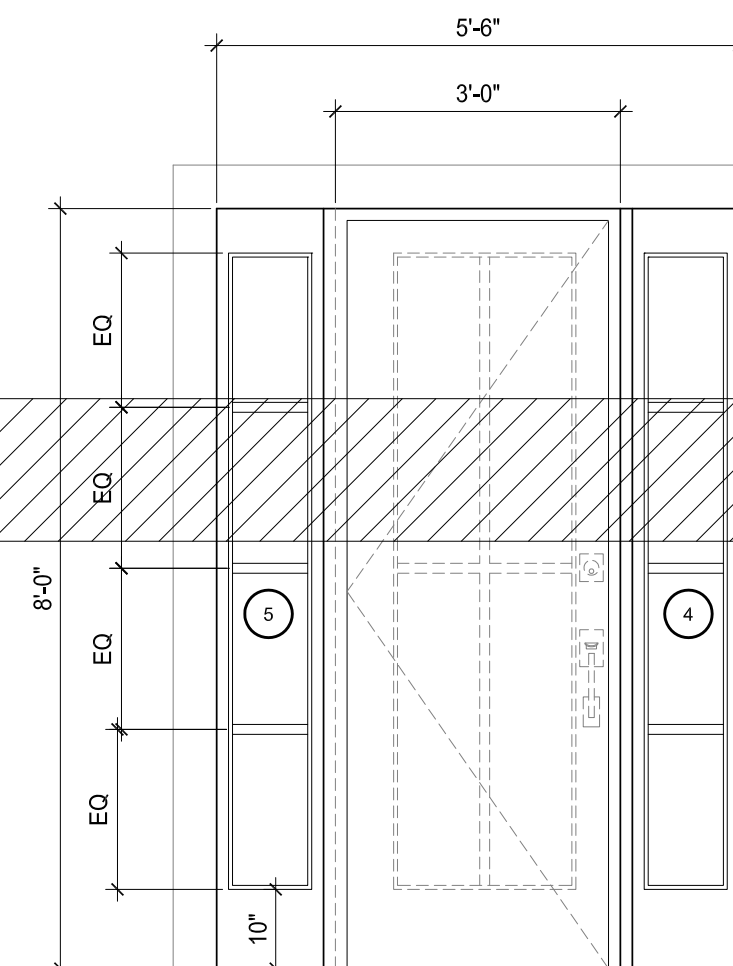
QUANTITY 1
SYMBOLS 23
LOCATIONS KITCHEN
W9 WINDOW DIAGRAM
Scale 1/2" = 1'-0"



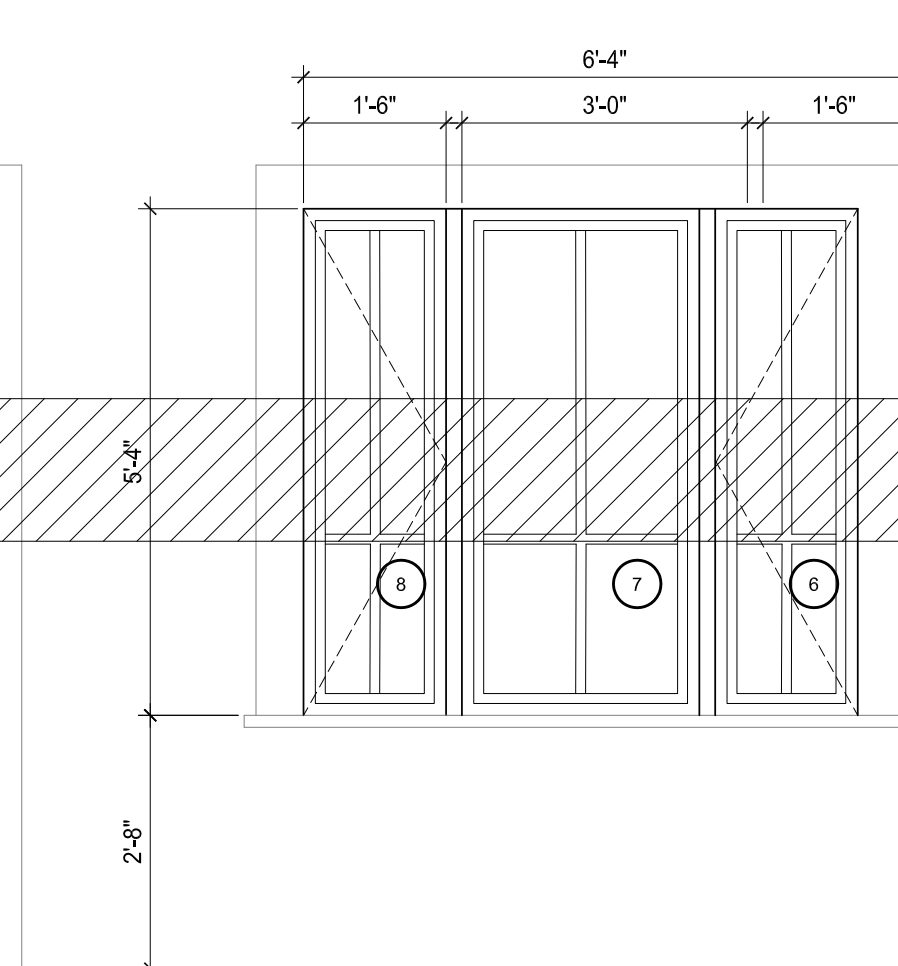
QUANTITY 1
SYMBOLS 19, 20, 21
LOCATIONS FAMILY ROOM
W10 WINDOW DIAGRAM
Scale 1/2" = 1'-0"



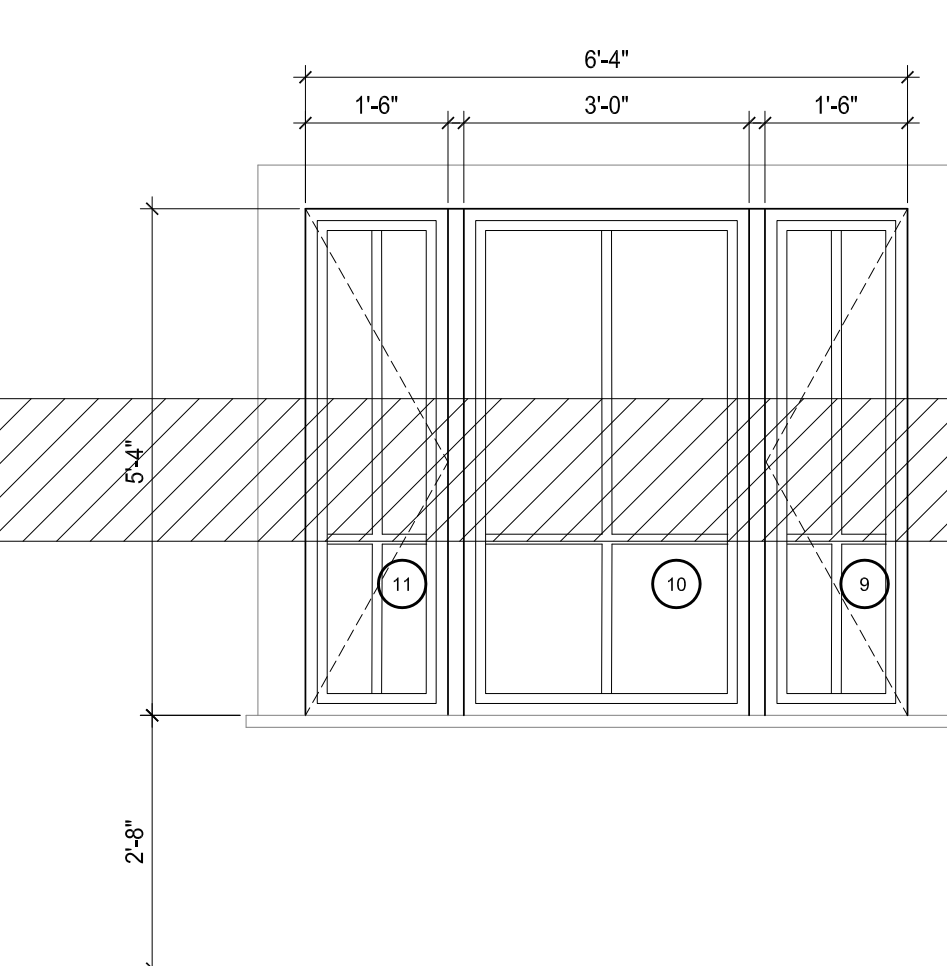
QUANTITY 1
SYMBOLS 1, 2, 3
LOCATIONS PANTRY
W1 WINDOW DIAGRAM
Scale 1/2" = 1'-0"



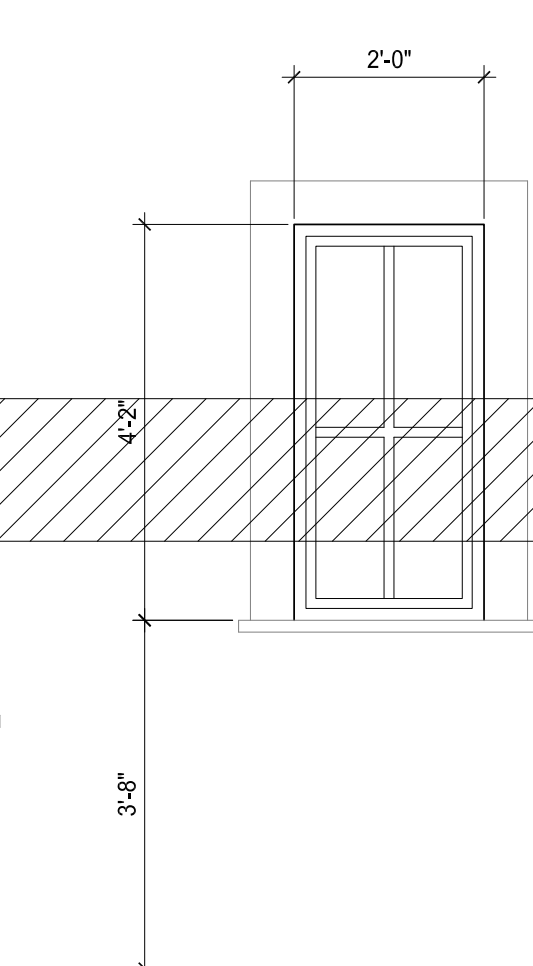
QUANTITY 1
SYMBOLS 4, 5
LOCATIONS ENTRY
W2 WINDOW DIAGRAM
Scale 1/2" = 1'-0"



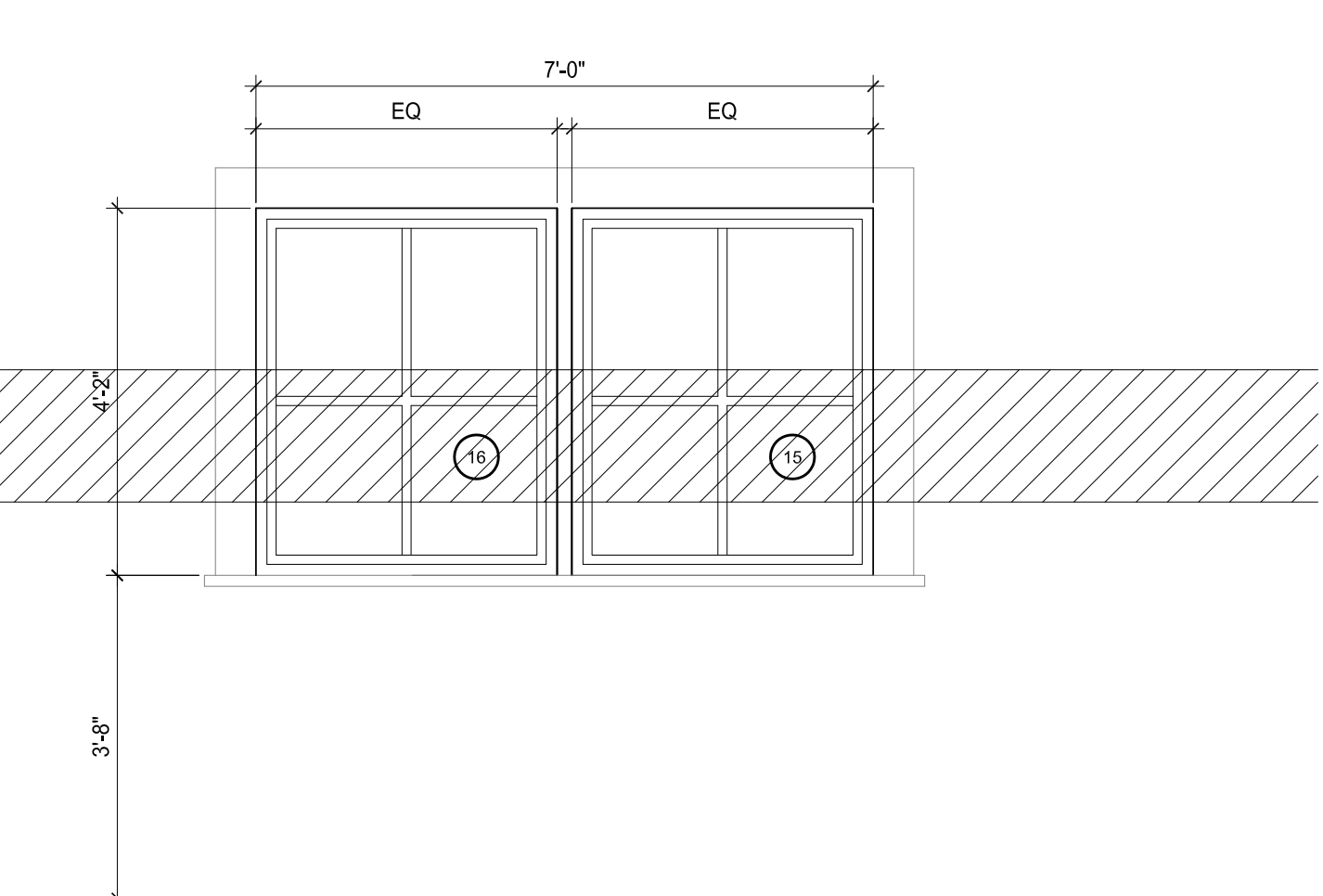
QUANTITY 1
SYMBOLS 6, 7, 8
LOCATIONS MASTER CLOSET
W3 WINDOW DIAGRAM
Scale 1/2" = 1'-0"



QUANTITY 1
SYMBOLS 9, 10, 11
LOCATIONS MASTER BATH
W4 WINDOW DIAGRAM
Scale 1/2" = 1'-0"



QUANTITY 4
SYMBOLS 12, 13, 14, 17
LOCATIONS MASTER BEDROOM, STAIRS
W5 WINDOW DIAGRAM
Scale 1/2" = 1'-0"



QUANTITY 1
SYMBOLS 15, 16
LOCATIONS STAIRS
W6 WINDOW DIAGRAM
Scale 1/2" = 1'-0"

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WINDOW DIAGRAMS
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A-6.1

